

PB# 04-20

Schoonmaker Homes

32-1-11.3

TOWN OF NEW WINDSOR
PLANNING BOARD

APPROVED COPY

DATE: 9-28-07

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 10/03/2007

PAGE: 1

LISTING OF PLANNING BOARD ACTIONS

STAGE: STATUS [Open, Withd]
A [Disap, Appr]

FOR PROJECT NUMBER: 4-20

NAME: SCHOONMAKER HOMES SUB. PA2004-0757

APPLICANT: SCHOONMAKER HOMES

--DATE--	MEETING-PURPOSE-----	ACTION-TAKEN-----
09/28/2007	PLANS STAMPED	APPROVED
10/26/2005	P.B. APPEARANCE - PUB HEARIN ND: APPR COND . ADDRESS 911 NUMBERS - NEED MAINTENANCE AGREEMENT - ADDRESS . MARK'S COMMENTS -	
02/09/2005	P.B. APPEARANCE . ADDRESS MARK'S COMMENTS AND RETURN TO WORK SHOP	RET TO WS
06/02/2004	WORK SHOP APPEARANCE	SUBMIT FOR PERC

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 09/17/2007

PAGE: 1

LISTING OF PLANNING BOARD FEES
ESCROW

FOR PROJECT NUMBER: 4-20

NAME: SCHOONMAKER HOMES SUB. PA2004-0757
APPLICANT: SCHOONMAKER HOMES

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
08/24/2004	REC. CK. #16100	PAID		800.00	
02/09/2005	P.B. ATTY FEE	CHG	35.00		
02/09/2005	P.B. MINUTES	CHG	28.00		
06/22/2005	P.B. ATTY. FEE	CHG	35.00		
06/22/2005	P.B. MINUTES	CHG	28.00		
10/26/2005	P.B. ATTY. FEE	CHG	35.00		
10/26/2005	P.B. MINUTES	CHG	63.00		
04/12/2006	P.B. ENGINEER	CHG	1426.00		
07/06/2006	REC. CK. #7988	PAID		850.00	
06/27/2007	P.B. MINUTES - REAPPROVAL	CHG	49.00		
07/19/2007	ENG. FEE - REAPPROVAL	CHG	285.60		
08/14/2007	REC CK# 5065	PAID		285.60	
09/04/2007	REC CK#5089 (IN PART)	PAID		49.00	
TOTAL:			1984.60	1984.60	0.00

orig. closeout 7-6-06

Jack:

To close out escrow.

Thank You,
myra

deposited
9-18-07
As Planning Bd fees } 49.00 PB 4-20
370.00 PB 4-20
CK5089 419.00

J. Hennehan
9-18-07

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 09/17/2007

PAGE: 1

LISTING OF PLANNING BOARD FEES
APPROVAL

FOR PROJECT NUMBER: 4-20

NAME: SCHOONMAKER HOMES SUB. PA2004-0757
APPLICANT: SCHOONMAKER HOMES

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
/ /		CHG	0.00		
04/12/2006	SUB. APPROVAL FEE	CHG	370.00		
07/06/2006	REC. CK. #7987	PAID		370.00	
07/19/2007	REAPPROVAL	CHG	370.00		
09/04/2007	REC. CK. #5089 (IN PART)	PAID		370.00	
	TOTAL:		740.00	740.00	0.00

P.B. # 04-20 ESCRBS + Approval

CITIZENS BANK

5089

JOHN STEINBERG, INC. 02/05
275 ROUTE 17K
NEWBURGH, NY 12550
845-564-2252

29-7003/2213
48

Memo:

Four Hundred Nineteen and 00/100 Dollars

DATE

AMOUNT

Sep 4, 2007

419.00

PAY TO THE ORDER OF
TOWN OF NEW WINDSOR
555 UNION AVE.
NEW WINDSOR, NY 12533

Fees, Kings Count

John Steinberg
John L. Steinberg

⑈005089⑈ ⑆221370030⑆ ⑈4700175639⑈

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 08/14/2007

PAGE: 1

LISTING OF PLANNING BOARD FEES
ESCROW

FOR PROJECT NUMBER: 4-20

NAME: SCHOONMAKER HOMES SUB. PA2004-0757

APPLICANT: SCHOONMAKER HOMES

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
08/24/2004	REC. CK. #16100	PAID		800.00	
02/09/2005	P.B. ATTY FEE	CHG	35.00		
02/09/2005	P.B. MINUTES	CHG	28.00		
06/22/2005	P.B. ATTY. FEE	CHG	35.00		
06/22/2005	P.B. MINUTES	CHG	28.00		
10/26/2005	P.B. ATTY. FEE	CHG	35.00		
10/26/2005	P.B. MINUTES	CHG	63.00		
04/12/2006	P.B. ENGINEER	CHG	1426.00		
07/06/2006	REC. CK. #7988	PAID		850.00	
06/27/2007	P.B. MINUTES - REAPPROVAL	CHG	49.00		
07/19/2007	ENG. FEE - REAPPROVAL	CHG	285.60		
08/14/2007	REC CK# 5065	PAID		285.60	
		TOTAL:	1984.60	1935.60	49.00

\$ 419.00

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 08/30/2007

PAGE: 1

LISTING OF PLANNING BOARD **FEES**
APPROVAL

FOR PROJECT NUMBER: 4-20

NAME: SCHOONMAKER HOMES SUB. PA2004-0757

APPLICANT: SCHOONMAKER HOMES

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
04/12/2006	SUB. APPROVAL FEE	CHG	370.00		
07/06/2006	REC. CK. #7987	PAID		370.00	
07/19/2007	REAPPROVAL	CHG	370.00		
08/29/2007	REC. CK. #5065	PAID		370.00	
		TOTAL:	740.00	740.00	0.00

**DRAKE LOEB HELLER
KENNEDY GOGERTY
GABA & RODD^{PLLC}**
ATTORNEYS AT LAW

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New Windsor, New York 12553

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Adam L. Rodd

Dominic Cordisco
Jeanne N. Tully
Timothy P. McElduff, Jr.
Kathleen E. Sheridan

*L.L.M. in Taxation

July 24, 2007

David Church
Commissioner
Orange County Department of Planning
124 Main Street
Goshen, New York 10924-2124

Re: Re-Approval of Subdivision of John Steinberg
Reference/County ID No.: NWT11-07N
County Tax ID: S32 B1 L11.3
Our File No.: 12132 - 60859

Dear David:

On June 27, 2007 the Town of New Windsor Planning Board re-approved the previously approved the 4 lot subdivision application sought by John Steinberg. The Planning Board did so by a unanimous vote, and thus overrode the comments made by the Department of Planning in its June 18, 2007 GML § 239 Report. The Planning Board further directed that this office provide this report to the Department of Planning to satisfy the requirements of GML § 239-m(6).

This application was previously approved by the Planning Board. The applicant's time to file the final subdivision plat expired before the plat could have been filed. As a result, the applicant re-applied to the Planning Board for subdivision approval. Given that the prior approval expired, the Planning Board required that all required steps be followed, including a referral to the Department of Planning.

Neither the applicable law nor the plans changed in the current application. The applicant proposed a 4 lot subdivision. The site is constrained by a significant amount of wetlands regulated by the New York State Department of Environmental Conservation (NYSDEC). However, the applicant has proposed a design that would avoid impacts to the regulated wetlands.

In the Department of Planning's GML § 239 Report, the Department recommended approval "subject to adherence to comments 2 - 5". In those comments, the Department recommended reducing the number of lots "by at least one." The Department noted that "upland areas and wetlands work in conjunction with each other and should not be considered as isolated entities." The Department concluded that losing a lot would "locate development/impervious surface area even farther away from the wetland buffer, leaving as much upland untouched as possible."

Writer's Direct
Phone: 845-458-7316
Fax: 845-458-7317
dcordisco@drakeloeb.com

Given that the upland areas referred to by the Department are appropriately zoned for development, and given further that the applicant has avoided any disturbances to the regulated wetland, the Planning Board determined not to impose such a restriction on this application.

Lastly, the Department recommended that additional measures be taken to permanently preserve the untouched regulated wetlands, although the Department acknowledged the practical difficulty in finding an organization that would be willing to receive a conservation easement. On this point, we note that any future disturbance of the regulated wetlands, including the adjacent area, would require, at a minimum, a permit from the NYSDEC.

Accordingly, please accept this report on behalf of the Town of New Windsor Planning Board setting forth the reasons why the Planning Board overrode the comments made by the Department of Planning.

Very truly yours,



DOMINIC CORDISCO

DRC/rt/27235

Enclosure

cc: Town of New Windsor Planning Board ✓
Mark J. Edsall, P.E.
John Steinberg



REPORT OF FINAL LOCAL ACTION

To: Orange County Department of Planning
124 Main Street
Goshen, NY 10924

From: Town of New Windsor Planning Board
555 Union Avenue

Date: New Windsor, New York 12553
July 24, 2007

Subject: GML 239 Referral ID#

Name of project: Subdivision of John Steinberg

Reference/ County ID No. NWT11-07N

As stated in Section 239 of the General Municipal Law of the State of New York State, within thirty days of taking final action in regard to a required referral to the Orange County Planning Department, the local referring agency shall file a report as to the final action taken. In regard to the proposed action described above, the following final action was taken:

☒ Our local board **approved** this action on June 27, 2007.

☐ Our local board **approved** this action **with modifications** on _____.
Briefly, the modifications consisted of:

☐ Our local board **disapproved** this action on _____.
Briefly, the reasons for disapproving this action were:

☐ The proposal was **withdrawn**.

Additional space for comments on actions:

See accompanying letter.

Town of New Windsor

555 Union Avenue
New Windsor, NY 12553
(845) 563-4611

RECEIPT #679-2007

09/06/2007

John Steinberg, Inc.
275 Route 17k
Newburgh, NY 12550

Received \$ 285.60 for Planning Board Fees, on 09/06/2007. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Deborah Green
Town Clerk

PB# 04-20

CHRONOLOGICAL JOB STATUS REPORT

JOB: 87-56

NEW WINDSOR PLANNING BOARD (Chargeable to Applicant)

CLIENT: NEWWIN - TOWN OF NEW WINDSO

TASK: 4- 20

FOR ALL WORK ON FILE:

TASK-NO	REC	--DATE--	TRAN	EMPL	ACT	DESCRIPTION	RATE	HRS.	TIME	EXP.	BILLED	BALANCE
4-20	339352	/ /	TIME	LSB	CL	SCHOONBAKER HOMES	0.00	0.10	0.00			
4-20	338218	05/09/07	TIME	MJE	MC	DISC MM:APPRVL EXPIR	119.00	0.30	35.70			
									35.70			
4-20	339776	05/23/07				BILL 07-1353						-35.70
												-35.70
4-20	366022					PD/CR 07-1353 PD 06/11/07			35.70			
4-20	343315	06/08/07	TIME	MJE	MC	SCHOONBAKER OODP REF	119.00	0.40	47.60			
4-20	346227	06/25/07	TIME	MJE	MR	SCHOONBAKER REAPPROV	119.00	0.60	71.40			
4-20	346229	06/26/07	TIME	MJE	MC	SCHOONBAKER OODP	119.00	0.40	47.60			
4-20	345024	06/27/07	TIME	MJE	MM	Schoonbkr RE-APPD	119.00	0.10	11.90			
4-20	346215	06/27/07	TIME	MJE	PM	SCHOONBAKER W/GA	119.00	0.20	23.80			
4-20	346233	06/27/07	TIME	MJE	MM	SCHOONBAKER (REG MTG	119.00	0.40	47.60			
									249.90			
4-20	347156	07/06/07				BILL 07-1799						-249.90
												-249.90
4-20	366597					PD/CR 07-1799 PD 07/25/07			249.90			
						TASK TOTAL			285.60		-285.60	0.00
										0.00		0.00
						GRAND TOTAL			285.60		-285.60	0.00
										0.00		0.00

PAGE: 2

JOB: 87-56 NEW WINDSOR PLANNING BOARD (Chargeable to Applicant)
TASK: 4- 20

CLIENT: **NEWBORN - TOWN OF NEW WINDSO**

TASK-NO	REC	--DATE--	TRAN	EMPL	ACT	DESCRIPTION	RATE	HRS.	TIME	EXP.	DOLLARS	
											BILLED	BALANCE
4-20	217376	02/13/06	TIME	MM	MC	Cost Est Review	99.00	0.50	49.50			
4-20	217377	02/13/06	TIME	MJE	MC	proj closeout	115.00	0.50	57.50			
4-20	217739	02/13/06	TIME	MM	MR	SCHOONMAKER	99.00	0.50	49.50			
4-20	217487	02/14/06	TIME	MJE	MC	S/CLOSEOUT	115.00	0.50	57.50			
4-20	217488	02/14/06	TIME	MJE	MR	S/PLAN RVW & T/R	115.00	0.50	57.50			
									317.50			
4-20	217500	02/17/06				BILL 06-544					-268.00	
											-268.00	
4-20	217849	03/01/06	TIME	MJE	MC	SCHOONMAKER W/MM	115.00	0.40	46.00			
4-20	217817	03/02/06	TIME	MJE	MC	MATT AFR: SCHOONMAKER	115.00	0.30	34.50			
4-20	217819	03/03/06	TIME	MJE	MC	MATT AFR: SCHOONMAKER	115.00	0.30	34.50			
4-20	217820	03/03/06	TIME	MJE	MC	PAYO: SCHOONMAKER	115.00	0.20	23.00			
4-20	218066	03/24/06	TIME	MJE	MC	MATT AFR: SCHOONMAKER	115.00	0.30	34.50			
									172.50			
4-20	218092	03/23/06				BILL 06-763					-187.50	
4-20	219223	05/24/06				BILL 06-1236					-34.50	
											-222.00	
4-20	221209	09/15/06	TIME	MM	MR	SCHOONMAKER BOND MEM	99.00	0.50	49.50			
									49.50			
4-20	221653	10/25/06				BILL 06-2640					-49.50	
											-49.50	
						TASK TOTAL			1747.30		-1747.30	
										0.00		0.00
						GRAND TOTAL			1747.30		-1747.30	
										0.00		0.00

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 07/20/2007

PAGE: 1

LISTING OF PLANNING BOARD **FEES**
APPROVAL

FOR PROJECT NUMBER: 4-20

NAME: SCHOONMAKER HOMES SUB. PA2004-0757

APPLICANT: SCHOONMAKER HOMES

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
04/12/2006	SUB. APPROVAL FEE	CHG	370.00		
07/06/2006	REC. CK. #7987	PAID		370.00	
07/19/2007	REAPPROVAL	CHG	370.00		
		TOTAL:	740.00	370.00	370.00

SCHOONMAKER_HOMES_(04-20)

MR. ARGENIO: Last is Schoonmaker, Mr. Steinberg, Schoonmaker Homes minor subdivision. This application proposes subdivision of 38 plus acre property into 4 single family residential lots. The plan was previously reviewed at the 9 February, 2005, 22 June, 2005, 26 October, 2005 planning board meetings. Mark, tell us a little bit about this. How are you, Mr. Steinberg?

MR. STEINBERG: Fine, thank you.

MR. EDSALL: It's similar to the previous application, the board did take action, it was approved the application, just failed to file the approved plat within the prescribed time period so now they're back.

MR. ARGENIO: Why did you fail to do that, Mr. Steinberg?

MR. STEINBERG: I was confused between the bonding and the putting in of the road and I was also seeking a purchaser at the time.

MR. ARGENIO: Go ahead, Mark.

MR. EDSALL: So that's the bottom line. The applicant is seeking re-approval. The only difference on this one is that notwithstanding the fact that it had a full review and had a previous approval we did by law since September, 2004 when the requirement was reinitiated with referrals to County Planning, we did send it to County Planning and they did have some suggestions, in fact, some of them are their conditions of approval. So if the board decides that those conditions aren't necessarily warranted we should itemize our reasoning and then we're going to have to send a report back to County Planning and you'll need a super majority to approve it.

MR. ARGENIO: I'm going to refrain from going too far with my personal commentary about the County's comments, they're certainly all in the packets and available to you to read. What I am going to do, however, is to relegate my comments to following Mark's commentary and then if anybody else has any input you'll certainly have the chance to speak. Comment number 2, project's unsuitable for number of lots proposed due to Orange County Soil Survey, recommendation extend buffer area, extend buffer area, we're recommended to extend the DEC buffer area of the wetlands to protect species feeding in the area. Recommendation to create buffer area for lot 4. Here's the response. Site sanitary design was prepared by a licensed professional engineer in accordance with NYS DOH guidelines and soils testing was it witnesses by a representative of the Town Engineer's office. All proposed facilities are positioned in accordance with state and federal requirements. I'll say it again, state and federal requirements. Applying increased spacing requirements or reducing the lot count on a previously approved subdivision could be construed as placing an unfair burden on the applicant. And adversely affecting his property rights. I added the adversely affecting his property rights. Comment 3, open space on site should be preserved and lot reconfigured such the wetlands ownership is with one lot and protection and maintenance of wetlands would lay upon a single property owner. Since the lands in question are a protected wetland, we do not see any benefit in a single ownership. This would result in at least one of the other lots not meeting this requirement.

MR. EDSALL: No, this one we verified that since the--

MR. ARGENIO: Would you please read the response for the minutes, Mark?

MR. EDSALL: The lands in question as far as the wetlands are protected by the state regulations so I see no difference who owns the wetlands, if they're protected, I don't see where there's a benefit in making one property owner on all the wetlands versus the wetlands being split.

MR. ARGENIO: They're protected in any event no matter whose name is on it they're protected. Read 4 and 5 too, Mark.

MR. EDSALL: Recommendation that the SWPPP be strictly enforced. I'm just telling you as with all applications the town's desire that all protective measures be enforced and the environment be protected, we do that anyway, it's not as if we say in some cases we'll enforce it, some cases we won't.

MR. VAN LEEUWEN: We enforce it all the time.

MR. ARGENIO: Go ahead.

MR. EDSALL: Comments 5 from the county was that the project be redesigned to maximize vegetation to be maintained.

MR. ARGENIO: There we're looking at a situation where it's an approved subdivision looking for reapproval, the County's recommendation which is quite late in the game which is after someone had approval was to redesign the whole subdivision and eliminate lots and I just believe that would be an inappropriate burden and would in fact diminish the property owners' land rights and I don't know that we have that ability.

MR. ARGENIO: I'm going to put the attorney in a difficult position. By subjectively moving a DEC buffer zone, subjectively relocating 100 foot buffer zone and making it 120 feet or maybe if we so desire 150 feet or 180 feet buffer if we so desire, do you

think it's possible that we have opened up ourselves to some liability in the future, whereas we apply a certain subjective standard to some applicants and a different subjective standard to other applicants? Is that possible, counselor?

MR. RODD: Well, certainly not.

MR. ARGENIO: In a paragraph or less.

MR. RODD: Not personal liability but certainly you would subject the decision to do so to attack on the basis of illegality.

MR. ARGENIO: Thank you, anybody have any other comments about this?

MR. SCHLESINGER: Yeah, I have just a question just to clarify procedure the applicant was here several years ago, got an approval, he forgot or whatever and time expired, he's coming back here now for reapproval. When he initially came it didn't have to go to County, now it has to go to County. Who sent it to County, what sparked it to go to County?

MR. EDSALL: The law.

MR. SCHLESINGER: In other words, when he came to Myra and said I want to get reapproval two weeks ago, a month ago, whatever it is, Myra turned around and said you have to send it to County.

MR. BABCOCK: It's not an extension.

MR. SCHLESINGER: No.

MR. BABCOCK: It's a brand new approval.

MR. SCHLESINGER: Just as a matter of procedure, I'm trying to understand at what point did it go to County?

MR. EDSALL: Right at the beginning.

MR. SCHLESINGER: Right when he came back and said it expired, what do I do?

MR. EDSALL: Sent it to the County because I figured it would come to you I was hoping with a fairly easy reapproval.

MR. SCHLESINGER: We understand that but it was, we have to follow procedure, I was just curious at what point it was.

MR. EDSALL: We sent it out immediately upon receipt and with the knowledge that the law changed between the prior approval and this approval.

MR. ARGENIO: Anybody else? I'll accept a motion we reaffirm our position as lead agency.

MR. VAN LEEUWEN: So moved.

MR. SCHLESINGER: Second it.

MR. ARGENIO: Motion has been made and seconded that the Town of New Windsor Planning Board reaffirm its position as lead agency for Schoonmaker Homes minor subdivision. Roll call.

ROLL CALL

MR. SCHLESINGER	AYE
MR. BROWN	AYE
MR. GALLAGHER	AYE
MR. VAN LEEUWEN	AYE
MR. ARGENIO	AYE

MR. ARGENIO: I'll accept a motion that the board consider the Planning Department's comments and we

include their findings into the minutes of this meeting.

MR. VAN LEEUWEN: So moved.

MR. SCHLESINGER: Second it.

MR. ARGENIO: Motion has been made and seconded that the Town of New Windsor Planning Board consider their comments, include the findings in the minutes of the meeting.

ROLL CALL

MR. SCHLESINGER	AYE
MR. BROWN	AYE
MR. GALLAGHER	AYE
MR. VAN LEEUWEN	AYE
MR. ARGENIO	AYE

MR. ARGENIO: No conditions have changed since the approval, I'll accept a motion we reaffirm the negative dec for Schoonmaker Homes.

MR. VAN LEEUWEN: So moved.

MR. SCHLESINGER: Second it.

MR. ARGENIO: Motion has been made and seconded that the Town of New Windsor Planning Board reaffirm the negative dec on the Schoonmaker minor subdivision.

ROLL CALL

MR. SCHLESINGER	AYE
MR. BROWN	AYE
MR. GALLAGHER	AYE
MR. VAN LEEUWEN	AYE
MR. ARGENIO	AYE

MR. ARGENIO: I'll accept a motion we waive the preliminary and final public hearings on the Schoonmaker Homes reapproval.

MR. VAN LEEUWEN: So moved.

MR. SCHLESINGER: Second it.

MR. ARGENIO: Motion has been made and seconded that we waive the preliminary and final public hearings for this project. No further discussion, roll call.

ROLL CALL

MR. SCHLESINGER	AYE
MR. BROWN	AYE
MR. GALLAGHER	AYE
MR. VAN LEEUWEN	AYE
MR. ARGENIO	AYE

MR. ARGENIO: I'll accept a motion we grant final approval to Schoonmaker Homes.

MR. VAN LEEUWEN: So moved.

MR. SCHLESINGER: Second it.

MR. ARGENIO: Motion has been made and seconded that the Town of New Windsor Planning Board grant final approval to the Schoonmaker minor subdivision.

ROLL CALL

MR. SCHLESINGER	AYE
MR. BROWN	AYE
MR. GALLAGHER	AYE
MR. VAN LEEUWEN	AYE
MR. ARGENIO	AYE

AS OF: 06/03/2007

PAGE: 1

CHRONOLOGICAL JOB STATUS REPORT

JOB: 87-56

NEW WINDSOR PLANNING BOARD (Chargeable to Applicant)

CLIENT: NEWWIN - TOWN OF NEW WINDSO

TASK: 4- 20

FOR ALL WORK ON FILE:

TASK-NO	REC	DATE	TRAN	EMPL	ACT DESCRIPTION	RATE	HRS.	TIME	EXP.	DOLLARS BILLED	BALANCE
4-20	339352	/ /	TIME	LSS	CL SCHOONMAKER HOMES	0.00	0.10	0.00			
4-20	338218	05/09/07	TIME	MJE	MC DISC MM:APPRVL EXPIR	119.00	0.30	35.70			
								35.70			
4-20	339776	05/23/07			BILL 07-1353					-35.70	
										-35.70	
4-20	367277				PD/CR 07-1353 PD 06/11/07			35.70			
4-20	343315	06/06/07	TIME	MJE	MC SCHOONMAKER OCDP REF	119.00	0.40	47.60			
4-20	346227	06/25/07	TIME	MJE	MR SCHOONMAKER REAPPROV	119.00	0.60	71.40			
4-20	346229	06/26/07	TIME	MJE	MC SCHOONMAKER OCDP	119.00	0.40	47.60			
4-20	345024	06/27/07	TIME	MJE	MM Schoonmkr RE-APPR	119.00	0.10	11.90			
4-20	346215	06/27/07	TIME	MJE	PM SCHOONMAKER W/GA	119.00	0.20	23.80			
4-20	346233	06/27/07	TIME	MJE	MM SCHOONMAKER (REG MTG	119.00	0.40	47.60			
								249.90			
4-20	347156	07/06/07			BILL 07-1799					-249.90	
										-249.90	
4-20	367852				PD/CR 07-1799 PD 07/25/07			249.90			
					TASK TOTAL			285.60	0.00	-285.60	0.00

GRAND TOTAL

285.60

0.00

-285.60

0.00

\$ 285.60

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 08/14/2007

PAGE: 1

LISTING OF PLANNING BOARD **FEES**
ESCROW

FOR PROJECT NUMBER: 4-20

NAME: SCHOONMAKER HOMES SUB. PA2004-0757

APPLICANT: SCHOONMAKER HOMES

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
08/24/2004	REC. CK. #16100	PAID		800.00	
02/09/2005	P.B. ATTY FEE	CHG	35.00		
02/09/2005	P.B. MINUTES	CHG	28.00		
06/22/2005	P.B. ATTY. FEE	CHG	35.00		
06/22/2005	P.B. MINUTES	CHG	28.00		
10/26/2005	P.B. ATTY. FEE	CHG	35.00		
10/26/2005	P.B. MINUTES	CHG	63.00		
04/12/2006	P.B. ENGINEER	CHG	1426.00		
07/06/2006	REC. CK. #7988	PAID		850.00	
06/27/2007	P.B. MINUTES - REAPPROVAL	CHG	49.00		
07/19/2007	ENG. FEE - REAPPROVAL	CHG	285.60		
08/14/2007	REC CK# 5065	PAID		285.60	
		TOTAL:	1984.60	1935.60	49.00



COUNTY OF ORANGE

EDWARD A. DIANA
COUNTY EXECUTIVE

DEPARTMENT OF PLANNING

124 MAIN STREET
GOSHEN, NEW YORK 10924-2
TEL: (845)291-2318 FAX: (845)291-2319
www.orangecountygov.com/planning

DAVID CHURCH, A.I.C.
COMMISSIONER

ORANGE COUNTY DEPARTMENT OF PLANNING **239 L, M OR N REPORT**

This proposed action is being reviewed as an aid in coordinating such action between and among governmental agencies by bringing pertinent inter-community and countywide considerations to the attention of the municipal agency having jurisdiction.

Referred by: Town of New Windsor
Planning Board

Reference/County ID No.: NWT²⁸-07N
County Tax ID: S32 B1 L11.3

Applicant: John Steinberg

Proposed Action: 4-Lot Residential Subdivision

Reason for Review: Within 500 ft of County Route 207 and Stewart State Forest

Date of Full Statement: June 12, 2007

Comments:

1. The applicant seeks to subdivide a 38.44 acre parcel into 4 lots, each with a proposed single family residence, driveway and individual septic system and well. The bulk of the existing parcel contains NYSDEC wetlands with the corresponding 100 foot buffer. There is also an area on the site where two streams converge into one, which eventually feeds Moodna Creek.
2. It is noted that the environmental constraints of this property make it unsuitable for the proposed number of lots. The County recommends that the applicant be required to reduce the number of lots in the proposal by at least one, based on the following rationale:
 - According to the Orange County Soil Survey, all soils in the buildable area of the site present severe conditions for the development of dwellings and of septic systems. The proposed intensity of development should therefore be reduced to the greatest degree possible.
 - It is noted that the applicant proposes to build on the main upland area of the site, just adjacent to the designated buffer area. Yet, upland areas and wetlands work in conjunction with each other and should not be considered as isolated entities. Many species feed and/or breed in wetlands and then add both energy and organic matter to the corresponding upland community. Surface runoff then carries the organic and mineral material back into the wetlands.

Reducing the lot count would allow a reconfiguration of lot lines and house, septic and well locations. The purpose would be to locate development/impervious surface area even

farther away from the wetland buffer, leaving as much upland untouched as possible. This would allow for a self-imposed extension of the buffer area, with specific emphasis on preserving existing vegetation.

- A redesign would also allow a great buffer between the residence proposed for Lot 4 and the small ACOE wetland at the southern edge of the parcel. The current design proposes a buffer of less than 20 feet between the house and the wetland boundary; such inadequate wetland protection ensures that this valuable natural resource will be degraded to the point of ecological uselessness/paralysis/dysfunction, especially since most homes are enshrouded with manicured lawns that contribute excess nutrients, herbicides, and pesticides to areas downslope.
3. It is noted that the proposed open space on the site (more than 30 acres) should be preserved to the greatest extent possible. It is further noted that the parcel is in very close proximity to Stewart State Forest, which has been designated by the Orange County Open Space Plan as a biological “hotspot,” or an area identified as having “high concentrations of rare or otherwise critical species, both plant and animal, or contain significant natural communities.” The current undeveloped status of the open space and its relative surroundings presents an opportunity to create an instance of contiguous open space that is aspired to both by the Orange County Comprehensive Plan and the Orange County Open Space Plan.

The applicant proposes to divide the wetland area according to lot, leaving protection and maintenance duties upon the owner of each individual property. Generally, with such a large area of untouched land, equipped with protected wetlands and streams, the County recommends that an outside entity be involved in its preservation. However, because of the fact that the land is primarily undevelopable and because there is no feasible means of public access for it, land preservation groups would probably opt out of acquiring and protecting it. It, therefore, lies in the hands of applicant and the Town to seek ways in which this land can be placed under consolidated ownership and be preserved as part of a possible wildlife corridor. We recommend that the lot configuration be designed in such a way where ownership of the wetlands goes to one individual lot, for which the protection and maintenance would lay upon a single property owner.

4. We recommend that the SWPPP be strictly enforced to ensure that sediment does not erode from the site and contaminate the wetlands.
5. Because this parcel is entirely wooded, contains wetlands, and is adjacent to a large State Forest, we recommend maintaining a maximum amount of existing vegetation. This can be accomplished through a redesign (as mentioned) and clear identification of the limits of disturbance, both on the plans and on the ground (during the construction phase). The applicant could be required to depict a limit of disturbance line and/or proposed tree line with a lee-way of 10 feet on either side within future submissions of subdivision approval.

County Recommendation:

Approval subject to the following modifications and/or conditions: Adherence to Comments 2-5

Date: June 18, 2007

Prepared by: Atticus Lanigan, Planner



Dave Church, AICP
Commissioner of Planning

"IMPORTANT NOTE: As per NYS General Municipal Law 239-m(6), within 30 days of municipal final action on the above referred project, the referring board must file a report of the final action taken with the County Planning Department. For such filing, please use the final action report form attached to this review or available on-line at www.orangecountygov.com/planning."



REPORT OF FINAL LOCAL ACTION

To: Orange County Department of Planning
124 Main Street
Goshen, NY 10924

From:

Date:

Subject: GML 239 Referral ID# NWT28-07N

Name of project: Schoonmaker Homes Subdivision

As stated in Section 239 of the General Municipal Law of the State of New York State, within thirty days of taking final action in regard to a required referral to the Orange County Planning Department, the local referring agency shall file a report as to the final action taken. In regard to the proposed action described above, the following final action was taken:

_____ Our local board **approved** this action on _____.

_____ Our local board **approved** this action **with modifications** on _____.
Briefly, the modifications consisted of:

_____ Our local board **disapproved** this action on _____.
Briefly, the reasons for disapproving this action were:

_____ The proposal was **withdrawn**.

Additional space for comments on actions:

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 07/20/2007

PAGE: 1

LISTING OF PLANNING BOARD **FEES**
ESCROW

FOR PROJECT NUMBER: 4-20

NAME: SCHOONMAKER HOMES SUB. PA2004-0757

APPLICANT: SCHOONMAKER HOMES

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
08/24/2004	REC. CK. #16100	PAID		800.00	
02/09/2005	P.B. ATTY FEE	CHG	35.00		
02/09/2005	P.B. MINUTES	CHG	28.00		
06/22/2005	P.B. ATTY. FEE	CHG	35.00		
06/22/2005	P.B. MINUTES	CHG	28.00		
10/26/2005	P.B. ATTY. FEE	CHG	35.00		
10/26/2005	P.B. MINUTES	CHG	63.00		
04/12/2006	P.B. ENGINEER	CHG	1426.00		
07/06/2006	REC. CK. #7988	PAID		850.00	
06/27/2007	P.B. MINUTES - REAPPROVAL	CHG	49.00		
07/19/2007	ENG. FEE - REAPPROVAL	CHG	285.60		
		TOTAL:	1984.60	1650.00	334.60

AS OF: 07/16/2007

PAGE: 1

CHRONOLOGICAL JOB STATUS REPORT

JOB: 87-56

NEW WINDSOR PLANNING BOARD (Chargeable to Applicant)

CLIENT: NEWWIN - TOWN OF NEW WINDSO

TASK: 4- 20

FOR ALL WORK ON FILE:

TASK-NO	REC	--DATE--	TRAM	EMPL	ACT DESCRIPTION-----	RATE	HRS.	TIME	EXP.	-----DOLLARS-----	
										BILLED	BALANCE
4-20	339352	/ /	TIME	LSB	CL SCHOONMAKER HOMES	0.00	0.10	0.00			
4-20	338218	05/09/07	TIME	MJE	MC DISC MM:APPRVL EXPIR	119.00	0.30	35.70			
								35.70			
4-20	339776	05/23/07			BILL 07-1353					-35.70	
										-35.70	
4-20	363701				PD/CR 07-1353 PD 06/11/07			35.70			
4-20	343315	06/08/07	TIME	MJE	MC SCHOONMAKER OODP REF	119.00	0.40	47.60			
4-20	346227	06/25/07	TIME	MJE	MR SCHOONMAKER REAPPROV	119.00	0.60	71.40			
4-20	346229	06/26/07	TIME	MJE	MC SCHOONMAKER OODP	119.00	0.40	47.60			
4-20	345024	06/27/07	TIME	MJE	MM Schoonmr RE-APPD	119.00	0.10	11.90			
4-20	346215	06/27/07	TIME	MJE	PM SCHOONMAKER W/GA	119.00	0.20	23.80			
4-20	346233	06/27/07	TIME	MJE	MM SCHOONMAKER (REG MTG	119.00	0.40	47.60			
								249.90			
4-20	347156	07/06/07			BILL 07-1799					-249.90	
										-249.90	
					TASK TOTAL			285.60		-285.60	0.00
									0.00		0.00
					GRAND TOTAL			285.60		-285.60	0.00
									0.00		0.00



Walden Federal

BANKING WITH THE HOMETOWN TOUCH

RECEIVED

JUL 11 2007

TOWN CLERK'S OFFICE

IRREVOCABLE STANDBY LETTER OF CREDIT

TO: Town of New Windsor
555 Union Avenue
New Windsor, NY
12553

July 5, 2007

Number: 2007-05

PB# 04-20

Amount: \$ 62,000.00

ACCOUNT OF: John Steinberg, Inc.
(previously named Schoonmaker Homes-John Steinberg, Inc.)
275 Route 17K
Newburgh, NY 12550

Expires: July 5, 2008

Honorable Sirs:

We hereby issue our Irrevocable Standby Letter of Credit Number 2007-05 in your favor for the account of John Steinberg, Inc. in an amount not to exceed U.S. Sixty Two Thousand and 00/100 Dollars (\$62,000.00) available by your drafts at sight on us accompanied by:

Your statement, signed by the Town Supervisor, Town Engineer or Town Clerk or any other authorized representative of the Town, stating that John Steinberg, Inc. has not completed installation of required improvements during the period of installation or has caused damage to public or private property during installation of the improvements with respect to Kings Road, Town of New Windsor or stating that the Town of New Windsor has had to expend money and that such sum of money has remained unpaid for not less than three (3) days after notice of non-payment has been given to John Steinberg, Inc., or may be required to expend money, by reason of the failure of John Steinberg, Inc. to timely or properly install the improvements or maintain the improvements or correct damage to public property during the period of installation or during the period of installation or during the required one year maintenance period or extension thereof.

It is a condition of this credit that it shall be deemed automatically extended without amendment for one (1) year from the initial or any future expiration date hereof, unless thirty (30) days prior to any such date we shall notify you in writing at the above address by certified mail, return receipt requested, that we elect not to consider the letter of credit renewed for any such additional period. Upon receipt by you of such notice, you may draw the full amount of the credit hereunder against your draft without the documentation mentioned herein.

Drafts must be presented to us in person, by mail or facsimile transmission no later than the expiration date shown thereof, and must state "Drawn under Letter of Credit Number 2007-05."

Unless provided to the contrary herein, this credit is subject to the Uniform Customs and Practice for Documentary Credits (1994 Revision) and the International Chamber of Commerce Publication No. 500.

We hereby agree with you that drafts drawn under and in compliance with the terms and conditions of this credit shall be duly honored upon due presentation at our office at 12 Main Street, Walden, New York, 12586.

Walden Federal Savings and Loan Association

By: 
L. Bruce Lott

Senior Vice President

MAIN OFFICE/WALDEN BRANCH	12 Main Street	Walden, NY 12586	T: (845) 778-2171	F: (845) 778-3125
COMMERCIAL LOAN ANNEX	8 Main Street	Walden, NY 12586	T: (845) 778-2109	F: (845) 778-3114
MORTGAGE AND LOAN CENTER	74 West Main Street	Walden, NY 12586	T: (845) 778-5371	F: (845) 778-5779

BRANCHES: WALDEN MONTGOMERY MONROE WAL-MART MONROE SHOPRITE OTISVILLE

E-MAIL: bank@waldenfederal.com WEB: www.waldenfederal.com





PROJECT: Schoonmaker Homes Sub. P.B. # 04-20

NEGATIVE DEC:

M) ✓ S) Schl VOTE: A 5 N 0
CARRIED: Y ✓ N

PUBLIC HEARING: **WAIVED:** ✓ **CLOSED:** **FINAL:** ✓

M) V S) Schl VOTE: A 5 N 0 SCHEDULE P.H.: Y N ✓

SEND TO DEPT. OF TRANS: Y___ REFER TO Z.B.A.: M)___ S)___ VOTE: A___ N___

CONCEPTUAL: _____ **PRELIMINARY:** _____ **COND. FINAL:** _____ **FINAL** ☒

M) V S) Schl VOTE: A 5 N 0 Re: APPROVED: 6-27-07

NEED NEW PLANS: Y N ☒

CONDITIONS – NOTES:

[illegible]



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. MCGOEY, P.E. (NY & PA)

WILLIAM J. HAUSER, P.E. (NY & NJ)

MARK J. EDSALL, P.E. (NY, NJ & PA)

JAMES M. FARR, P.E. (NY & PA)

MAIN OFFICE

33 AIRPORT CENTER DRIVE

SUITE 202

NEW WINDSOR, NEW YORK 12553

(845) 567-3100

FAX: (845) 567-3232

E-MAIL: MHENY@MHEPC.COM

WRITER'S E-MAIL ADDRESS:

MJE@MHEPC.COM

**TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS**

PROJECT NAME: SCHOONMAKER HOMES MINOR SUBDIVISION
PROJECT LOCATION: NYS ROUTE 207 (NEAR KINGS ROAD)
SECTION 32 – BLOCK 1 – LOT 11.3
PROJECT NUMBER: 04-20
DATE: 27 JUNE 2007
DESCRIPTION: THE APPLICATION PROPOSES THE SUBDIVISION OF THE 38+
ACRE PROPERTY INTO FOUR (4) SINGLE-FAMILY RESIDENTIAL
LOTS. THE PLAN WAS PREVIOUSLY REVIEWED AT THE
9 FEBRUARY 2005, 22 JUNE 2005 AND 26 OCTOBER 2005 PLANNING
BOARD MEETINGS.

1. The property was previously split by the OLI zoning district and the R-1 zoning district of the Town. It is my understanding that, as of 3 July 2002, this specific parcel is now all R-1, as per a notation on the zoning map.
2. The Planning Board previously held a public hearing for the project, declared a “neg dec” and granted conditional final subdivision approval on 10-26-05; however, the applicant failed to file the plat within the required time frame. The applicant seeks re-approval. Upon such request, in conformance with GML 239, the application was forwarded to the Orange County Department of Planning. They have approved the application subject to several items, a copy of their letter is attached. In general, their conditions are as follows (I have included my comment on the same where applicable):
 - *Comment # 2 - Project is “unsuitable” for the number of lots proposed due to Orange County Soil Survey, recommendation to extend the buffer area of the DEC Wetlands to protect species feeding in the area, recommendation to create buffer area between lot #4 and ACOE wetland.* – Site sanitary design was prepared by a licensed professional engineer in accordance with NYS DOH guidelines, and soils testing was witnessed by a representative of the Town Engineer’s office. All proposed facilities are positioned in accordance with State and Federal requirements. Applying increased spacing requirements, or reducing the lot count on a previously approved subdivision, could be construed as placing an unfair burden on the applicant.

REGIONAL OFFICES

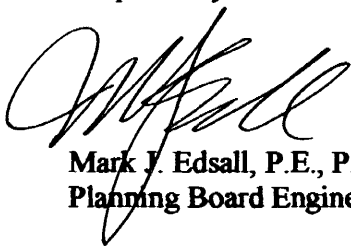
- 111 WHEATFIELD DRIVE – SUITE ONE • MILFORD, PENNSYLVANIA 18337 • 570-296-2765 •
• 540 BROADWAY • MONTICELLO, NEW YORK 12701 • 845-794-3399 •

- *Comment #3 - Open Space on site (>30 acres) should be preserved, and lots reconfigured such that wetlands ownership is with one lot, and protection and maintenance of the wetland would "lay upon a single property owner" – since the lands in question are a protected wetland, we do not see any benefit in a single ownership.*
- *Comment #4 – Recommendation that the SWPPP be strictly enforced – As with all applications, it is the Town's desire that all protective measures be enforced and the environment protected.*
- *Comment #5 – That the project be redesigned to maximize vegetation to be maintained. – similar response as with comments #2 and #3.*

3. It is my recommendation that:

- The Planning Board reaffirm their position as Lead Agency.
- The Board consider the Planning Departments comments and include their findings into the minutes of this meeting.
- With the belief that no conditions have changed since the prior approval, reaffirm their Negative Declaration under SEQRA.
- The Board waive the preliminary and final public hearings for the project.
- Grant conditional final approval for the subdivision, subject to all previous conditions and payment of fees, and direct the Attorney for the Planning Board to prepare the appropriate resolutions, and authorize the PB Chairman to execute such resolutions once prepared.

Respectfully Submitted,



Mark J. Edsall, P.E., P.P.
Planning Board Engineer

MJE/st
NW04-20-27June07.doc



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. MCGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY & NJ)
MARK J. EDSALL, P.E. (NY, NJ & PA)
JAMES M. FARR, P.E. (NY & PA)

MAIN OFFICE
33 Airport Center Drive
Suite 202
New Windsor, New York 12553

(845) 567-3100
fax: (845) 567-3232
e-mail: mheny@mhepc.com

13 February 2006

MEMORANDUM

TO: MYRA MASON, PLANNING BOARD SECRETARY

SUBJECT: SCHOONMAKER HOMES (KINGS RD)
TOWN OF NEW WINDSOR PB 04-20

This office has reviewed the construction bond estimate for the above-mentioned project and concurs with the bond amount of \$62,000.00.

Respectfully submitted,

McGoey, Hauser & Edsall
Consulting Engineers, P.C.

A handwritten signature in cursive script, reading 'Brendan Masterson', written over a horizontal line.

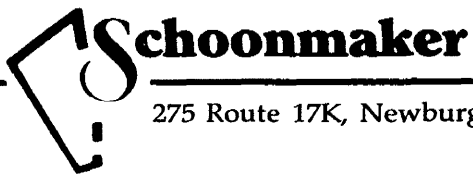
Brendan Masterson, CPESC, CPSWQ
Project Engineer

FAXED

9-19-06

REGIONAL OFFICES

- 111 Wheatfield Drive • Milford, Pennsylvania 18337 • 570-296-2765 •
- 540 Broadway • Monticello, New York 12701 • 845-794-3399 •



275 Route 17K, Newburgh, New York 12550 • (845) 564-2252 Fax (845) 564-2269

September 6, 2006

Town of New Windsor Planning Board
555 Union Avenue
New Windsor, NY 12553

Attention: Ms. Myra Mason

SUBJECT: King's Court Approval

Dear Ms. Mason:

I understand that the approval for the above captioned property has lapsed. I have encountered some delays in getting a performance bond because my broker's insurance company stopped writing bonds and I must provide a lot of "start up" information to the new bonding company.

I expect to have a bond shortly.

Please accept this letter as my request for a renewal of the approval. Thank you.

Very truly yours,

John C. Steinberg, Jr.
President

JCS/alr

**SCHOONMAKER HOMES
CONSTRUCTION COST ESTIMATE
FOR PRIVATE ROAD**

P.B.#04-20

Description	Unit	Quantity	Unit Price	Total Price
STREETS: 50 ft. R.O.W.				
Clear, grub, grade to subgrade	LS		LS	15,000
Base Course - 8" Crushed Shale	CY	230	20.00	4,600
Choker Course - 4" Item 4	CY	115	30.00	3,450
Surface Course - "Oil and Chip"	SF	9,600	1.50	14,400
STORM DRAINAGE				
0'-5' deep - Pre-cast concrete including frame and grate	Each	5	1,200	6,000
18" Flared End Section	Each	2	300	600
18" HDPE	LF	470	25.00	11,750
15" HDPE	LF	25	20.00	500
SUBTOTAL				\$ 56,300
10% CONTINGENCY				\$ 5,630
TOTAL				\$ 61,930
SAY				\$ 62,000

T:\AFR-Monroe Documents\ALL PROJECTS\Administrative\Project Files\6296 - Schoonmaker Homes\2005\Cost Estimate.doc



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4689

OFFICE OF THE PLANNING BOARD

September 12, 2006

Schoonmaker Homes
275 Route 17K
Newburgh, NY 12550

ATTENTION: MR. JOHN C. STEINBERG, JR.

SUBJECT: P.B. #04-20 – SCHOONMAKER HOMES SUBDIVISION
KINGS ROAD – TOWN OF NEW WINDSOR, NY
TAX MAP #32-1-11.3

Dear Mr. Steinberg:

This letter is confirmation that the above-mentioned application for subdivision was granted Final Approval with conditions at the regular meeting of the New Windsor Planning Board on October 26, 2005. A copy of the minutes of that meeting pertaining to your project is attached for your records.

I hope this is satisfactory for your records and if you need any further information, please contact our office.

Very truly yours,

Genaro Argenio, Chairman
NEW WINDSOR PLANNING BOARD

GA:mlm

cc: P.B. File 04-20

PUBLIC HEARINGS:

SCHOONMAKER HOMES SUBDIVISION (04-20)

MR. PETRO: Schoonmaker Homes subdivision, proposed four lot residential subdivision. Application proposes subdivision of 38 acre parcel into four single family residential lots. The plan was previously reviewed at the 9 February, 2005, 22 June, 2005 planning board meetings. The application is before the board for a public hearing at this time. It's in an OLI zoning district and R-1 zoning district of the town. It is all now R-1 as per a notation on the zoning map, how did you go from OLI to all R-1, what's your name first?

MR. SHEFFIELD: Matthew Sheffield, AFR Engineering. The property was I think split across here somewhere around here, the front was the OLI zone and the rear was residential and it had been changed to have the property all residential, it was before this application.

MR. PETRO: Who changed it?

MR. SHEFFIELD: Zoning board.

MR. BABCOCK: Town of New Windsor Town Board.

MR. EDSALL: Town Board changed it.

MR. BABCOCK: There was a request from the prior owner and that request was granted.

MR. PETRO: You have that anywhere on the plan? Is it shown anywhere on the plan like the date of the change, the removal, does it say that line to be removed?

MR. SHEFFIELD: It's on the zoning, the current zoning map, the Town of New Windsor zoning map there's a notation on the town map.

MR. PETRO: Is that line there that's going through that, is that a zoning line?

MR. SHEFFIELD: No, this is the property line but no zoning line, it's all R-1.

MR. PETRO: Right now it's showing all R-1?

MR. SHEFFIELD: Right.

MR. PETRO: Grading at the entrance on the road has been modified to improve sight distance, approval from the highway superintendent is necessary. Mark, do you have anything outstanding before we open it up to the public?

MR. EDSALL: No.

MR. PETRO: It's pretty cut and dry here. It's 38 acres and you're coming up with four lots is that mostly wetlands.

MR. SHEFFIELD: Yes, the whole, this all back here is all wetlands.

MR. PETRO: New York State DEC wetlands.

MR. SHEFFIELD: Yes, DEC you can see, I don't know what page you're looking at, if you're looking at the first sheet you can see the boundary, there's 100 foot buffer then there's the limits.

MR. PETRO: Runs along the stone wall, comes up and you have the 100 foot buffer so you're well within that?

MR. SHEFFIELD: Right.

MR. ARGENIO: Contours are on the next page.

MR. PETRO: I want to talk just a little bit about the septic designs, are they standard? What do you have here? Are they above ground? Mark, did you witness anything at this site yet?

MR. EDSALL: We did, I had in my last review comments from last month I had acknowledged that we had witnessed them and they were marginal, we meet the absolute minimum requirements.

MR. ARGENIO: What's that, 55 minutes?

MR. EDSALL: They were high counts to that.

MR. SHEFFIELD: Sixty minutes the limit and the highest one was 58 minutes.

MR. PETRO: That's pretty rough and I think that's like with the rain that we just had do you think that will still hold true 58 minutes?

MR. SHEFFIELD: It should, the holes are when you go out there the holes are soaked with water.

MR. PETRO: Again, are these standard systems, are they going to be above ground?

MR. SHEFFIELD: This system here is the standard in-the-ground system, it's being dosed because the perc rate was high, it's a rather large system 600 linear feet of trench, it's being dosed, gravity dosing system, the other three are shallow trench systems which is two feet of fill and the system is the laterals are put in that and it's the top six inches of soil.

MR. PETRO: Isn't there a lot of shale out there?

MR. ARGENIO: I don't think so. I think you're going to find a lot of crummy soil.

MR. SHEFFIELD: Silky soils.

MR. ARGENIO: But there's no residential activity below them.

MR. SHEFFIELD: All the systems have curtain drains and swales around them to divert water.

MR. PETRO: Who's going to finally approve these systems, you or go to DOH?

MR. EDSALL: This is a not a realty subdivision so it does haven't to go to the County, it's local jurisdiction and we witnessed them and I mean ultimately it's their design responsibility, it meets, it's within the guidelines allowed by the state, I don't know if I'd want to buy one at 58 minutes.

MR. PETRO: Say someone moves in with five instead of three kids and you have that kind of problem anyway to overdesign some of the systems, I just know down the road they're going to be a problem.

MR. SHEFFIELD: There's only one marginal one which is lot 4 which is the one that's in the ground and that's the one that has 600 feet of trench which would be more than adequate for a four bedroom house, it's a lot and that's one that's up higher too on the hill here, these ones, all the perc rates for the other three lots all stabilized 22 minutes, 25 minutes, 7 minutes, 8 minutes, 13 minutes and 4 minutes, so the topsoil is good.

MR. PETRO: Wells are all 100 feet away from the system?

MR. SHEFFIELD: Yeah.

MR. PETRO: Uphill 200. Mark, you checked that out?

MR. EDSALL: Yes.

MR. PETRO: Any of the board members have anything? I want to open it up to the public and we're going to review it again. On the 12th day of October, 2005, 14 addressed envelopes containing the notices were mailed out. If anyone is here, would like to speak for or against, make comment on the application, be recognized by the chair, come forward, state your name and address and your concern. Yes, sir?

MR. DELONGIS: My name is Eugene DeLongis, D-E-L-O-N-G-I-S, 29 Donnelly Place, which is right off off of Kings Road.

MR. ARGENIO: You're up the hill?

MR. DELONGIS: My property is adjacent to part of this, only concerned that looking at the perc tests here and so on, I was concerned originally that I looked at the maps, they appear to conform to the zoning regulations as far as bulk size, but I'm concerned with water, I have very little where I am and there's another 41 houses going down the street. Also my other subdivision, my other question is that this is proposed four houses, is there any chance that this is going to go more than five houses?

MR. PETRO: No, I believe the remaining lands looks like completely, show him the line and the remaining lands.

MR. DELONGIS: I'm familiar with it.

MR. PETRO: It's really wet, I don't--

MR. SHEFFIELD: There's no more room, I mean, this is the wetlands buffer here and we can't intrude on that and there's no more room given the lot sizes of usable

area.

MR. DELONGIS: There's no cluster zoning or anything else?

MR. PETRO: We don't do cluster here anyway.

MR. DELONGIS: Not like it never happens but as long as that's all there is then that's my only concern.

MR. PETRO: Okay, thank you. Anyone else? Motion to close the public hearing.

MR. ARGENIO: No more hands, I make a motion we close the public hearing on Schoonmaker Homes.

MR. SCHLESINGER: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board close the public hearing for the Schoonmaker Homes minor subdivision on Route 207. Any further comment? If not, roll call.

ROLL CALL

MR. SCHLESINGER	AYE
MR. MASON	AYE
MR. KARNAVEZOS	AYE
MR. ARGENIO	AYE
MR. PETRO	AYE

MR. PETRO: At this time, I'll open it back up to the board. Any further comment? Mark, do you have anything outstanding at this time?

MR. EDSALL: The only item that would prevent some absolute progress is the fact that the time period where it's been referred to the Orange County Department of Planning hasn't expired so that--

MR. PETRO: We'll put them on the next agenda, we're not in a rush, the fire approval for 10/26/2005, the 911 is disapproved, you're going to have to get, I'll read it here, need road name for approval by 911 coordinator, we'll have to get that done, you have to get it to the 911.

MR. SHEFFIELD: To the fire chief?

MR. PETRO: Yes.

MR. BABCOCK: It's actually the fire inspector.

MR. SHEFFIELD: And am I supposed to submit three names to him along with a set of plans? And I'm still waiting from the owner to get the three road names, as soon as I get them from him, I'll send it off to him.

MR. PETRO: You're outside that 100 foot buffer line, I don't see any encroachment, a couple of the sewer systems are close to it looks like but you're outside of it, so I don't see any reason that we can't close out the SEQRA process at this time.

MR. ARGENIO: Prior to this?

MR. EDSALL: Yeah, this one just beat the deadline so it's not a mandatory referral to County Planning so you could proceed if you care to.

MR. ARGENIO: I'd like to make a motion that we declare a negative declaration under the SEQRA process for Schoonmaker Homes subdivision.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board declare a negative dec under the SEQRA process for the Schoonmaker Homes minor subdivision. Any further discussion? If not, roll call.

ROLL CALL

MR. SCHLESINGER AYE
MR. MASON AYE
MR. KARNAVEZOS AYE
MR. ARGENIO AYE
MR. PETRO AYE

MR. PETRO: You've got to get the 911 taken care of, that's number one, and let me see what else is left here, private road completion bond, private road maintenance declaration.

MR. EDSALL: They're all fairly straightforward, if you want to do a conditional, we can handle the coordination.

MR. PETRO: Talk about just one note on the private road detail sheet 4 add per application two applications required.

MR. EDSALL: That's just for a double surface treatment it's two applications of oil and chip, they have the correct information, just doesn't acknowledge that you have to do it twice.

MR. PETRO: So you want that note changed?

MR. EDSALL: Modify the note.

MR. PETRO: Okay, somebody want to make a motion for final approval? I'll read in the subject-to's.

MR. ARGENIO: I'll make the motion for final approval for Schoonmaker Homes minor subdivision subject to what the chairman's going to read into the minutes.

MR. SCHLESINGER: Second it.

MR. PETRO: Motion has been made and seconded that the

New Windsor Planning Board grant final approval to the Schoonmaker Homes minor subdivision on Route 207 subject to modifying note number 2 to read oil and chip double surface treatment, the 911 numbers you have to have them implemented, the private road completion bond and private road maintenance declaration. Once you have those and they're all in place and Mark tells me they're in place, the plans will be signed but not before, only thing we're doing is saving you a trip back here for stuff that you can do outside of the planning board.

MR. SHEFFIELD: Once I clear everything up, I can bring the mylars once everybody is approved?

MR. PETRO: You're going to have four subject-to's even though they're all basically housekeeping, just saving you a trip back to the planning board.

MR. SHEFFIELD: Thank you. Motion has been made and seconded, subject-to's are read in, any further discussion from the board members? If not, roll call.

ROLL CALL

MR. SCHLESINGER	AYE
MR. MASON	AYE
MR. KARNAVEZOS	AYE
MR. ARGENIO	AYE
MR. PETRO	AYE



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4689

OFFICE OF THE PLANNING BOARD

April 13, 2006

AFR Engineering Group
110 Stage Road
Monroe, NY 10950

ATTN: MATTHEW SHEFFIELD

SUBJECT: SCHOONMAKER HOMES SUBDIVISION (04-20)

Dear Matt:

Please find attached printouts of fees due for subject project.

Please contact your client, the applicant, and ask that payment be submitted in separate checks, payable to the Town of New Windsor, as follows:

Check #1 - Approval Fee.....	\$ 370.00
Check #2 - Amount over Escrow posted.....	\$ 850.30
Check #3 - Recreation Fee - three lots @\$2,000.00 ea....	\$ 6,000.00
Check #4 - Inspection Fee - 2% of Cost Estimate.....	\$ 1,240.00

Please be aware there is a Private Road Bond established in the amount of \$62,000.00. The Plans will not be stamped approved and no building permits will be issued until the road is completed to the satisfaction of the Town of New Windsor or a bond posted for the remainder of the work to be completed.

Upon receipt of these checks and ten (10) sets of plans with mylar, I will have them stamped and signed approved.

If you have any questions in this regard, please contact my office.

Very truly yours,

Myra L. Mason, Secretary To The
NEW WINDSOR PLANNING BOARD

MLM

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 08/03/2006

PAGE: 1

LISTING OF PLANNING BOARD ACTIONS

STAGE:

STATUS [Open, Withd
O [Disap, Appr

FOR PROJECT NUMBER: 4-20

NAME: SCHOONMAKER HOMES SUB. PA2004-0757

APPLICANT: SCHOONMAKER HOMES

DATE	MEETING-PURPOSE	ACTION-TAKEN
10/26/2005	P.B. APPEARANCE - PUB HEARIN . ADDRESS 911 NUMBERS - . MARK'S COMMENTS -	ND. APPR COND NEED MAINTENANCE AGREEMENT - ADDRESS
02/09/2005	P.B. APPEARANCE . ADDRESS MARK'S COMMENTS AND RETURN TO WORK SHOP	RET TO WS
06/02/2004	WORK SHOP APPEARANCE	SUBMIT FOR PERC

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 07/06/2006

PAGE: 1

LISTING OF PLANNING BOARD **FEES**
APPROVAL

FOR PROJECT NUMBER: 4-20

NAME: SCHOONMAKER HOMES SUB. PA2004-0757
APPLICANT: SCHOONMAKER HOMES

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
04/12/2006	SUB. APPROVAL FEE	CHG	370.00		
07/06/2006	REC. CK. #7987	PAID		370.00	
			-----	-----	-----
		TOTAL:	370.00	370.00	0.00

Town of New Windsor
555 Union Avenue
New Windsor, NY 12553
(845) 563-4611

RECEIPT
#548-2006

07/06/2006

Steinberg Jr, . John *P.B. 04-20*

Received \$ 370.00 for Planning Board Fees, on 07/06/2006. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Deborah Green
Town Clerk

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 07/06/2006

PAGE: 1

LISTING OF PLANNING BOARD FEES
ESCROW

FOR PROJECT NUMBER: 4-20

NAME: SCHOONMAKER HOMES SUB. PA2004-0757
APPLICANT: SCHOONMAKER HOMES

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
08/24/2004	REC. CK. #16100	PAID		800.00	
02/09/2005	P.B. ATTY FEE	CHG	35.00		
02/09/2005	P.B. MINUTES	CHG	28.00		
06/22/2005	P.B. ATTY. FEE	CHG	35.00		
06/22/2005	P.B. MINUTES	CHG	28.00		
10/26/2005	P.B. ATTY. FEE	CHG	35.00		
10/26/2005	P.B. MINUTES	CHG	63.00		
04/12/2006	P.B. ENGINEER	CHG	1426.00		
07/06/2006	REC. CK. #7988	PAID		850.00	
		TOTAL:	1650.00	1650.00	0.00


7/6/06

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 07/06/2006


PAGE: 1

LISTING OF PLANNING BOARD **FEES**
RECREATION

FOR PROJECT NUMBER: 4-20

NAME: SCHOONMAKER HOMES SUB. PA2004-0757
APPLICANT: SCHOONMAKER HOMES

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
04/12/2006	3 LOTS REC. FEE @ 2000.00	CHG	6000.00		
07/06/2006	REC. CK. #7989	PAID		6000.00	
		TOTAL:	6000.00	6000.00	0.00


7/6/06

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 07/06/2006

PAGE: 1

LISTING OF PLANNING BOARD FEES
4% FEE

FOR PROJECT NUMBER: 4-20
NAME: SCHOONMAKER HOMES SUB. PA2004-0757
APPLICANT: SCHOONMAKER HOMES

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
04/12/2006	2% OF COST EST 62,000.00	CHG	1240.00		
07/06/2006	REC. CK. #7990	PAID		1240.00	
		TOTAL:	1240.00	1240.00	0.00

12
7/6/06

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 04/13/2006

PAGE: 1

LISTING OF PLANNING BOARD FEES
4% FEE

FOR PROJECT NUMBER: 4-20

NAME: SCHOONMAKER HOMES SUB. PA2004-0757

APPLICANT: SCHOONMAKER HOMES

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
04/12/2006	2% OF COST EST 62,000.00	CHG	1240.00		
			-----	-----	-----
		TOTAL:	1240.00	0.00	1240.00

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 04/13/2006

PAGE: 1

LISTING OF PLANNING BOARD FEES
RECREATION

FOR PROJECT NUMBER: 4-20

NAME: SCHOONMAKER HOMES SUB. PA2004-0757

APPLICANT: SCHOONMAKER HOMES

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
04/12/2006	3 LOTS REC. FEE @ 2000.00	CHG	6000.00		
			-----	-----	-----
		TOTAL:	6000.00	0.00	6000.00

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 04/13/2006

PAGE: 1

LISTING OF PLANNING BOARD **FEES**
ESCROW

FOR PROJECT NUMBER: 4-20

NAME: SCHOONMAKER HOMES SUB. PA2004-0757

APPLICANT: SCHOONMAKER HOMES

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
08/24/2004	REC. CK. #16100	PAID		800.00	
02/09/2005	P.B. ATTY FEE	CHG	35.00		
02/09/2005	P.B. MINUTES	CHG	28.00		
06/22/2005	P.B. ATTY. FEE	CHG	35.00		
06/22/2005	P.B. MINUTES	CHG	28.00		
10/26/2005	P.B. ATTY. FEE	CHG	35.00		
10/26/2005	P.B. MINUTES	CHG	63.00		
04/12/2006	P.B. ENGINEER	CHG	1426.30		
			-----	-----	-----
		TOTAL:	1650.30	800.00	850.30

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 04/13/2006

PAGE: 1

LISTING OF PLANNING BOARD **FEES**
APPROVAL

FOR PROJECT NUMBER: 4-20

NAME: SCHOONMAKER HOMES SUB. PA2004-0757

APPLICANT: SCHOONMAKER HOMES

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
04/12/2006	SUB. APPROVAL FEE	CHG	370.00		
			-----	-----	-----
		TOTAL:	370.00	0.00	370.00

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 04/13/2006

PAGE: 1

LISTING OF PLANNING BOARD **FEES**
PERFORMANCE BND

FOR PROJECT NUMBER: 4-20

NAME: SCHOONMAKER HOMES SUB. PA2004-0757

APPLICANT: SCHOONMAKER HOMES

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
04/12/2006	PRIVATE ROAD BOND AMT	CHG	62000.00		
			-----	-----	-----
		TOTAL:	62000.00	0.00	62000.00

TOWN OF NEW WINDSOR

MINOR SUBDIVISION FEE SCHEDULE

APPLICATION FEE: \$ 75.00

ESCROW:

RESIDENTIAL:

_____ LOTS @ \$200.00 EACH LOT (FIRST FOUR LOTS) \$ _____

_____ LOTS @ \$100.00 EACH LOT OVER FOUR LOTS \$ _____

COMMERCIAL:

_____ LOTS @ \$500.00 EACH LOT (FIRST FOUR LOTS) \$ _____

_____ LOTS @ \$200.00 EACH LOT OVER FOUR LOTS \$ _____

TOTAL ESCROW DUE: \$ _____

APPROVAL FEES:

PRE-PRELIMINARY PLAT APPROVAL \$ 100.00

PRELIMINARY PLAT APPROVAL \$ 150.00

FINAL PLAT APPROVAL FEE (\$100.00 + \$5.00/LOT) \$ 120.00

FINAL PLAT SECTION FEE \$ ~~100.00~~

TOTAL APPROVAL FEES: \$ 370.00

RECREATION FEES:

3 LOTS @ ^{2,000.00}~~\$1,500.00~~ / LOT \$ 6,000.-

TO BE DEDUCTED FROM ESCROW:

ESCROW POSTED: \$ _____

P.B. ENGINEER FEE \$ _____

P.B. ATTY. FEE \$ _____

MINUTES OF MEETING \$ _____

OTHER \$ _____

TOTAL DEDUCTION: \$ _____

REFUND: \$ _____

AMOUNT DUE: \$ _____

PERFORMANCE BOND AMOUNT \$ _____

INSPECTION FEE:

2% PRIVATE IMPROVEMENTS \$ _____

4% PUBLIC IMPROVEMENTS \$ _____

CHRONOLOGICAL JOB STATUS REPORT

JOB: 87-56

NEW WINDSOR PLANNING BOARD (Chargeable to Applicant)

CLIENT: NEWWIN - TOWN OF NEW WINDSO

TASK: 4- 20

FOR WORK DONE PRIOR TO: 02/14/2006

TASK-NO	REC	--DATE--	TRAN	EMPL	ACT DESCRIPTION	RATE	HRS.	TIME	EXP.	BILLED	BALANCE
4-20	291248	02/13/06	TIME	BRM	MC Cost Est Review	115.00	0.50	57.50			
4-20	291249	02/13/06	TIME	MJE	MC proj closeout	115.00	0.50	57.50			
TASK TOTAL								1368.80	0.00	-1207.80	161.00
GRAND TOTAL								1368.80	0.00	-1207.80	161.00

2/13/06
Final Plan
review
1/2

57.50
1426.30

CHRONOLOGICAL JOB STATUS REPORT

JOB: 87-56

NEW WINDSOR PLANNING BOARD (Chargeable to Applicant)

CLIENT: NEWWIN - TOWN OF NEW WINDSOR

TASK: 4- 20

FOR WORK DONE PRIOR TO: 02/14/2006

TASK-NO	REC	--DATE--	TRAN	EMPL	ACT DESCRIPTION-----	RATE	HRS.	TIME	EXP.	BILLED	BALANCE
4-20	228982	06/02/04	TIME	MJE	WS SCHOONMAKER SUB	99.00	0.40	39.60			
4-20	246710	11/16/04	TIME	BMM	FI PERC WITNESS	99.00	4.00	396.00			
4-20	246717	11/17/04	TIME	BMM	FI PERC WITNESS	99.00	0.50	49.50			
4-20	247568	12/14/04	TIME	BMM	MR PERCS-KINGS DRIVE	99.00	2.50	247.50			
								732.60			
4-20	249613	12/31/04			BILL 05-221 1/27/05					-693.00	
										-693.00	
4-20	251847	02/07/05	TIME	MJE	MC SCHOONMAKER SUBDIV	99.00	0.30	29.70			
4-20	251849	02/08/05	TIME	MJE	MC SCHOONMAKER ZONING	99.00	0.50	49.50			
4-20	251851	02/09/05	TIME	MJE	MC SCHOONMAKER SUBDIV	99.00	0.50	49.50			
4-20	251852	02/09/05	TIME	MJE	MC SCHOONMAKER SOILS	99.00	0.40	39.60			
								168.30			
4-20	253283	02/28/05			BILL 05-343					-207.90	
										-207.90	
4-20	265134	06/22/05	TIME	MJE	MR SCHOONMAKER SUB	99.00	0.60	59.40			
4-20	265135	06/22/05	TIME	MJE	MC SDS SCHOONMAKER/BMM	99.00	0.30	29.70			
4-20	265783	06/22/05	TIME	BMM	MR PERC KVM/SCHOONMAKER	99.00	0.50	49.50			
4-20	268086	07/20/05	TIME	MJE	WS SCHOONMAKER SUB	99.00	0.40	39.60			
4-20	273023	08/30/05	TIME	MJE	MC KVM FILE SCHOONMAKER	99.00	0.40	39.60			
								217.80			
4-20	269404	08/03/05			BILL 05-1042					-178.20	
										-178.20	
4-20	279216	10/25/05	TIME	MJE	MR SCHOONMAKER SUB	99.00	0.40	39.60			
4-20	279217	10/25/05	TIME	MJE	MC SCHOON OGD REF	99.00	0.40	39.60			
4-20	278912	10/26/05	TIME	MJE	MM Schoonkr COND SUB AP	99.00	0.10	9.90			
								89.10			
4-20	283103	12/02/05			BILL 05-1703					-128.70	
										-128.70	
4-20	286503	01/04/06	TIME	MJE	WS SCHOONMAKER SUB	115.00	0.40	46.00			

Plan
OK



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E. (NY & PA)

WILLIAM J. HAUSER, P.E. (NY & NJ)

MARK J. EDSALL, P.E. (NY, NJ & PA)

JAMES M. FARR, P.E. (NY & PA)

MAIN OFFICE

33 Airport Center Drive
Suite 202
New Windsor, New York 12553

(845) 567-3100

fax: (845) 567-3232

e-mail: mhenry@mhepc.com

Writer's e-mail address:

mje@mhepc.com

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: SCHOONMAKER HOMES MINOR SUBDIVISION
PROJECT LOCATION: NYS ROUTE 207 (NEAR KINGS ROAD)
SECTION 32 – BLOCK 1 – LOT 11.3
PROJECT NUMBER: 04-20
DATE: 26 OCTOBER 2005
DESCRIPTION: THE APPLICATION PROPOSES THE SUBDIVISION OF THE 38+
ACRE PROPERTY INTO FOUR (4) SINGLE-FAMILY RESIDENTIAL
LOTS. THE PLAN WAS PREVIOUSLY REVIEWED AT THE
9 FEBRUARY 2005 AND 22 JUNE 2005 PLANNING BOARD
MEETINGS. THE APPLICATION IS BEFORE THE BOARD FOR A
PUBLIC HEARING AT THIS MEETING.


1. The property was previously split by the OLI zoning district and the R-1 zoning district of the Town. It is my understanding that, as of 3 July 2002, this specific parcel is now all R-1, as per a notation on the zoning map.
2. We have reviewed the updated plan and have the following comments:
 - On the private road detail, sheet 4, add “per application, two applications required” to note #2. Also change note on detail to “Oil and Chip Double Surface Treatment”
 - Grading at the entrance onto Kings Road has been modified to improve sight distance. A review and approval from the Highway Superintendent is necessary.
 - As per the 911 Policy of the Town, this project will require the assignment of a street name and 911 address numbering was required at this time. Please coordinate with Fire Inspector's office ASAP.
3. The application was just recently forwarded to the Orange County Department of Planning for the mandatory review.

REGIONAL OFFICES

- 507 Broad Street • Milford, Pennsylvania 18337 • 570-296-2765 •
- 540 Broadway • Monticello, New York 12701 • 845-794-3399 •

4. The Planning Board may wish to make a determination regarding the type action this project should be classified under SEQRA, and make a determination regarding environmental significance.
5. The applicant will be required to submit a Private Road Completion Bond per the requirements of Section 252-27 (A) (8) of the Town Street Specifications. Prior to posting the bond, a cost estimate should be submitted for review and approval.
6. The applicant should submit a draft copy of the Private Road Maintenance Declaration, in recordable form, to the Planning Board Attorney for review.
7. At this time we are aware of no other outstanding issues. If any are identified as part of the public hearing, we will be pleased to review same, as deemed appropriate by the board.

Respectfully Submitted,



Mark J. Edsall, P.E., P.P.
Planning Board Engineer

MJE/st
NW04-20-26Oct05.doc



Mark - 3-1-0
Please c
Matt Scheffi
782-86
Re: Changes to plan

Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4693

OFFICE OF THE PLANNING BOARD

PROJECT REVIEW SHEET

TO: HIGHWAY DEPARTMENT

P.B. FILE #04-20

DATE RECEIVED: 02-14-2006

TAX MAP #

PLEASE RETURN COMPLETED FORM TO MYRA

BY: N/A TO BE ON AGENDA FOR THE N/A PLANNING BOARD MEETING.

THE MAPS AND/OR PLANS FOR:

SCHOONMAKER HOMES SUBDIVISION - KINGS ROAD

Applicant or Project Name

SITE PLAN _____, SUBDIVISION XXX, LOT LINE CHANGE _____,
SPECIAL PERMIT _____

HAVE BEEN REVIEWED BY THE UNDERSIGNED AND ARE:

☐ APPROVED:

Notes: _____

☒ DISAPPROVED:

Notes: As per conversation with Mark Edsall on 2/14/06.

Signature: Anthony

Reviewed by

2/15/06
date



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4693

OFFICE OF THE PLANNING BOARD

PROJECT REVIEW SHEET

TO: HIGHWAY DEPARTMENT

P.B. FILE #04-20

DATE RECEIVED: 02-14-2006

TAX MAP #

PLEASE RETURN COMPLETED FORM TO MYRA

BY: N/A TO BE ON AGENDA FOR THE N/A PLANNING BOARD MEETING.

THE MAPS AND/OR PLANS FOR:

SCHOONMAKER HOMES SUBDIVISION - KINGS ROAD

Applicant or Project Name

SITE PLAN _____, SUBDIVISION XXX, LOT LINE CHANGE _____,
SPECIAL PERMIT _____

HAVE BEEN REVIEWED BY THE UNDERSIGNED AND ARE:

☐ **APPROVED:**

Notes: _____

☒ **DISAPPROVED:**

Notes: As per conversation with Mark Edsall on 2/14/06.

Signature: _____

Reviewed by

2/15/06

date



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY & NJ)
MARK J. EDSALL, P.E. (NY, NJ & PA)
JAMES M. FARR, P.E. (NY & PA)

☐ Main Office
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☐ Regional Office
507 Broad Street
Milford, Pennsylvania 18337
(570) 296-2765
e-mail: mhepa@mhepc.com

Writer's E-mail Address:
mje@mhepc.com

PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE

TOWN/VILLAGE OF:

New Windsor

P/B APP. NO.:

04-20

WORK SESSION DATE:

4 Jan 05

PROJECT: NEW

OLD X

REAPPEARANCE AT W/S REQUESTED:

NO

RESUB. REQ'D:

plan for stamping

PROJECT NAME:

Silver Lake Sch.

REPRESENTATIVES PRESENT:

MUNICIPAL REPS PRESENT:

BLDG INSP.
ENGINEER
P/B CHMN

X

FIRE INSP.
PLANNER
OTHER

ITEMS DISCUSSED:

STND CHECKLIST:

PROJECT TYPE

DRAINAGE

SITE PLAN

DUMPSTER

SPEC PERMIT

SCREENING

L L CHG.

LIGHTING

(Streetlights)

LANDSCAPING

SUBDIVISION

BLACKTOP

OTHER

ROADWAYS

APPROVAL BOX

PROJECT STATUS:

ZBA Referral:

Y N

Ready For Meeting

Y N

Recommended Mtg Date

MJE. OK IF BWA NEEDED.

6298



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4617
Fax: (845) 563-3104

Fire Inspectors Office

December 15, 2005

Matt Sheffield
Azzolina, Feury & Raimoni Engineering
110 Stage Road
Monroe, N.Y. 10950

Re: Schoonmaker Homes
Town of New Windsor
Project No. 6298

Dear Mr. Sheffield;

I have reviewed the proposed road names for the above referenced project. The proposed road names of King's Court and Windsor Court are unacceptable. These names are already in use within the Town of New Windsor.

The proposed street name of Knights Court is acceptable.

The following are the E911 assigned numbers that should appear on all future plans:

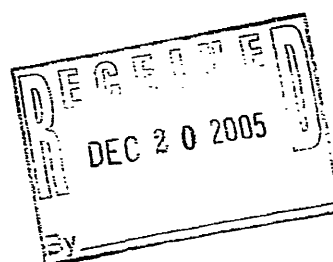
Lot # 1	9 Knight's Court
Lot # 2	6 Knight's Court
Lot # 3	14 Knight's Court
Lot # 4	11 Knight's Court

If you have any questions, please do not hesitate to contact me at (845) 563-4602

Sincerely,

John McDonald, Esq.
Chief Information Technology Officer

JHM/dh



FEB-13-2006 13:20

MC GOEY HAUSER EDSALL PC

845 567 3232 P.02

CHRONOLOGICAL JOB STATUS REPORT

JOB: 87-56

NEW WINDSOR PLANNING BOARD (Chargeable to Applicant)

CLIENT: NEWWIN - TOWN OF NEW WINDSOR

TASK: 4- 20

FOR WORK DONE PRIOR TO: 02/13/06

TASK-NO	REC	--DATE--	TRAV	EMPL	ACT DESCRIPTION-----	RATE	HRS.	TIME	EXP.	BILLED	BALANCE
4-20	291248	02/13/06	TIME	MMH	MC Cost Est Review	115.00	0.50	57.50			
4-20	291249	02/13/06	TIME	MJE	MC proj closeout	115.00	0.50	57.50			
TASK TOTAL								1362.40		-1207.80	154.60
									0.00		
GRAND TOTAL								1362.40		-1207.80	154.60
									0.00		

CHRONOLOGICAL JOB STATUS REPORT

JOB: 87-86

NEW WINDSOR PLANNING BOARD (Chargeable to Applicant)

CLIENT: NEWWIN - TOWN OF NEW WINDSOR

TASK: 4- 20

FOR WORK DONE PRIOR TO: 02/13/2006

TASK-NO	REC	DATE	TEAM	EMPL	ACT DESCRIPTION	RATE	HRS.	TIME	EXP.	BILLED	BALANCE
4-20	238982	06/02/04	TIME	MJE	WS SCHOONMAKER SUB	99.00	0.40	39.60			
4-20	246710	11/16/04	TIME	MM	VI PERC WITNESS	99.00	4.00	396.00			
4-20	246717	11/17/04	TIME	MM	VI PERC WITNESS	99.00	0.50	49.50			
4-20	247568	12/14/04	TIME	MM	MR PERCE-KINGS DRIVE	99.00	2.50	247.50			
								732.60			
4-20	249613	12/31/04			BILL 05-221 1/27/05						-693.00
											-693.00
4-20	231847	02/07/05	TIME	MJE	MC SCHOONMAKER SUBDIV	99.00	0.30	29.70			
4-20	231849	02/08/05	TIME	MJE	MC SCHOONMAKER ZONING	99.00	0.50	49.50			
4-20	231851	02/09/05	TIME	MJE	MC SCHOONMAKER SUBDIV	99.00	0.50	49.50			
4-20	231852	02/09/05	TIME	MJE	MC SCHOONMAKER SOILS	99.00	0.40	39.60			
								168.30			
4-20	253283	02/28/05			BILL 05-343						-207.90
											-207.90
4-20	265134	06/22/05	TIME	MJE	MR SCHOONMAKER SUB	99.00	0.60	59.40			
4-20	265135	06/22/05	TIME	MJE	MC SCS SCHOONMAKER/MM	99.00	0.30	29.70			
4-20	265783	06/22/05	TIME	MM	MR PERC RVW/SCHOONMAKER	99.00	0.50	49.50			
4-20	268086	07/20/05	TIME	MJE	WS SCHOONMAKER SUB	99.00	0.40	39.60			
4-20	273023	08/30/05	TIME	MJE	MC RVW FILE SCHOONMAKER	99.00	0.40	39.60			
								217.80			
4-20	269404	08/03/05			BILL 05-1042						-178.20
											-178.20
4-20	279216	10/25/05	TIME	MJE	MR SCHOONMAKER SUB	99.00	0.40	39.60			
4-20	279217	10/25/05	TIME	MJE	MC SCHOON ODDP REP	99.00	0.40	39.60			
4-20	278912	10/26/05	TIME	MJE	MM Schomatz COND SUB AP	99.00	0.10	9.90			
								89.10			
4-20	283103	12/02/05			BILL 05-1703						-128.70
											-128.70
4-20	286503	01/04/06	TIME	MJE	WS SCHOONMAKER SUB	99.00	0.40	39.60			

ATT
MYRA



PROJECT: Schoonmaker Homes P.B. # 04-20

NEGATIVE DEC:

M) AS 5 VOTE: A 5 N 0

CARRIED: Y ☒ N

CARRIED: Y N

M) A S) S VOTE: A 5 N 0 SCHEDULE P.H.: Y N

SEND TO DEPT. OF TRANSPORTATION: Y

REFER TO Z.B.A.: M) _____ S) _____ VOTE: A _____ N _____

RETURN TO WORK SHOP: Y__N__

APPROVAL:

M) A S) S VOTE: A 5 N 0 APPROVED: 10/26/05

NEED NEW PLANS: Y ☒ N ☐

CONDITIONS – NOTES:

Eugene De Longis - 29 Donnelly Place - Spoke Re: Wells
Address 911 #'s
Maintenance Agreement
Mark's Comments of 10-26-05
Check w/ Highway



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E. (NY & PA)

WILLIAM J. HAUSER, P.E. (NY & NJ)

MARK J. EDSALL, P.E. (NY, NJ & PA)

JAMES M. FARR, P.E. (NY & PA)

MAIN OFFICE
33 Airport Center Drive
Suite 202
New Windsor, New York 12553

(845) 567-3100
fax: (845) 567-3232
e-mail: mheny@mhepc.com

Writer's e-mail address:
mje@mhepc.com

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: SCHOONMAKER HOMES MINOR SUBDIVISION
PROJECT LOCATION: NYS ROUTE 207 (NEAR KINGS ROAD)
SECTION 32 – BLOCK 1 – LOT 11.3
PROJECT NUMBER: 04-20
DATE: 22 JUNE 2005
DESCRIPTION: THE APPLICATION PROPOSES THE SUBDIVISION OF THE 38+
ACRE PROPERTY INTO FOUR (4) SINGLE-FAMILY RESIDENTIAL
LOTS. THE PLAN WAS PREVIOUSLY REVIEWED AT THE
9 FEBRUARY 2005 PLANNING BOARD MEETING.

1. The property was previously split by the OLI zoning district and the R-1 zoning district of the Town. It is my understanding that, as of 3 July 2002, this specific parcel is now all R-1, as per a notation on the zoning map.
2. I received an updated plan and have the following comments:
 - The soils test information reveals clearly that these lots are just in compliance with minimum standards. Given the proximity to the wetlands and stormwater courses, this is not surprising.
 - The depth of the percolation tests for lot #1 appear incorrect. The tests failed at 24" on 11/16/04. Follow up shallow testing date and test depth should be indicated.
 - The SDS design plans appear preliminary in nature, as all final information has not been coordinated. Once a final plan is submitted, we will finalize our review.
 - The plan appears to call for a swale and curtain drain for each SDS; however, the details are separate on sheet 3 of the drawings. Provide single detail and note that swale/drain is mandatory for each SDS.

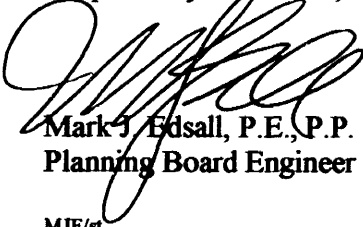
REGIONAL OFFICES

- 507 Broad Street • Milford, Pennsylvania 18337 • 570-296-2765 •
• 540 Broadway • Monticello, New York 12701 • 845-794-3399 •

- The plans provide a private road detail, which has an upgraded surface. The width of the road must be 18' not 16' as depicted. In addition the roadway subbase must be 12" total, not 8" as depicted. In connection with these revisions, the binder course thickness could be adjusted.
- Sight distance at the project road intersection to Kings Drive is in question. The proposed grading (some of which is in the Town right-of-way) does not develop the "sight triangle" which is desired at an intersection. Further evaluation, and a review from the Highway Supt., are necessary.
- Sight distances should be measured and shown on the plans, for the access to the Town Road.
- As per the 911 Policy of the Town, this project will require the assignment of a street name and 911 address numbering at the Preliminary approval stage of the subdivision review.

3. My records are not clear whether the Planning Board determined if a Public Hearing will be necessary for this minor subdivision.

Respectfully Submitted,



Mark J. Edsall, P.E., P.P.
Planning Board Engineer

MJE/st
NW04-20-09Feb05.doc



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4693

OFFICE OF THE PLANNING BOARD

PROJECT REVIEW SHEET

TO: E 911 COORDINATOR

P.B. FILE # _____ DATE RECEIVED: _____ TAX MAP # _____

PLEASE RETURN COMPLETED FORM TO MYRA
BY: _____ TO BE ON AGENDA FOR THE _____ PLANNING BOARD MEETING.

THE MAPS AND/OR PLANS FOR:

Applicant or Project Name

SITE PLAN _____, SUBDIVISION _____, LOT LINE CHANGE _____,
SPECIAL PERMIT _____

HAVE BEEN REVIEWED BY THE UNDERSIGNED AND ARE:

☐ APPROVED:

Notes: _____

☒ DISAPPROVED:

Notes: ① NEED to provide Road Name for Approval
by E911 Coordinator, ② NEED Three plans for E-911
Number Assignments ④ Approved E-911 Road Name
and E-911 Numbers must appear on all plans.

Signature: _____

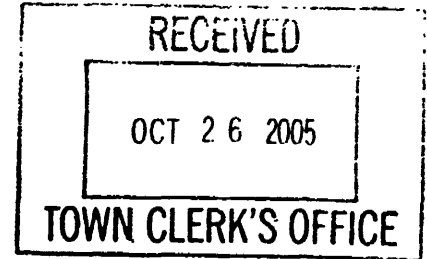
Reviewed by

10/26/05
date



TOWN OF NEW WINDSOR

TOWN CLERK'S OFFICE
555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553
Telephone: (845) 563-4611
Fax: (845) 563-4670



REQUEST FOR PUBLIC RECORDS

Date: 10/26/05
Name: R. DeLongis
Address: 29 Donnelly Pl
New Windsor
Phone: () 567-1598
Representing: _____

Please specify:

- Property location (street address or section, block and lot number)
- Department you are requesting records from
- Describe information requested as fully as possible

Kings Rd
Block

Documents may not be taken from this office.



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4693

OFFICE OF THE PLANNING BOARD

PROJECT REVIEW SHEET

TO: FIRE INSPECTOR

P.B. FILE # _____ DATE RECEIVED: _____ TAX MAP # _____

PLEASE RETURN COMPLETED FORM TO MYRA

BY: _____ TO BE ON AGENDA FOR THE _____ PLANNING BOARD MEETING.

THE MAPS AND/OR PLANS FOR:

Applicant or Project Name

SITE PLAN _____, SUBDIVISION _____, LOT LINE CHANGE _____,
SPECIAL PERMIT _____

HAVE BEEN REVIEWED BY THE UNDERSIGNED AND ARE:

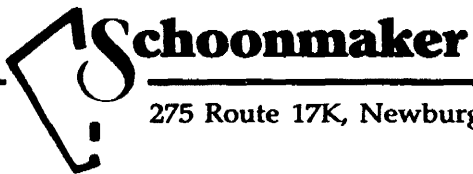
☒ **APPROVED:**

Notes: _____

☐ **DISAPPROVED:**

Notes: _____

Signature: _____ 10/26/05
Reviewed by _____ date



275 Route 17K, Newburgh, New York 12550 • (845) 564-2252 Fax (845) 564-2269

May 9, 2007

Ms. Myra L. Mason
The Town of New Windsor
555 Union Avenue
New Windsor, NY 12553

RE: File #0420 Kings Court, a four lot subdivision

Dear Myra:

I understand that my approval on the above file has expired. Accordingly I request that the file be processed for re-approval as soon as possible.

Thank you in advance for what I am sure will be your timely assistance.

Very truly yours,

John C. Steinberg, Jr.

President

JCS/alr

REGULAR ITEMS:

SCHOONMAKER HOMES SUBDIVISION (04-20)

Mr. Matt Sheffield appeared before the board for this proposal.

MR PETRO: Regular items, Schoonmaker Homes subdivision, proposed 4 lot residential subdivision, it's a regular item. Application proposes subdivision of the 38 acre parcel into four single family residential lots. The plan was previously reviewed at the 9 February, 2005 planning board meeting. It was split by the OLI zone district and the R-1 zoning district of the Town. It's my understanding on the 3 of July, 2002, this specific parcel is all R-1 as per notation on the zoning map. Let me just go over this briefly then we'll start. Sight distance at the project road intersection of Kings Drive is in question. All right so you'll have to straighten that out with Mr. Kroll, Highway Superintendent, sight distance should be measured and shown on the plans for the access to the Town road, it says the proposed grading some of which is in the Town's right-of-way has not developed a sight triangle which is desired at the intersection. Further evaluation should be required. So that's one thing you're going to have to get to. Then you have some technicals, why don't you tell us briefly what you're doing there again.

MR. SHEFFIELD: We have a proposed private road. The septic systems are shallow trench systems, one system in the ground, we have done the perc tests, the deep tests one of the comments that Mark had made about the tests failing at 24 inches on lot number 1 we had gone back out there and done 12 inch perc tests and I faxed that over to his office today, we went out and witnessed that a few months ago so we did get 12 inch perc tests to pass on that lot and designed the shallow

trench system accordingly. All the systems are going to have curtain drains to drain any water that might be coming up from the ground. The one system that's going to be in the ground with no fill is going to have a swale and curtain drain around it both carrying surface water coming down this hill up here. We did erosion sediment control plan showing silt fences and temporary conversion swales and we also did the preliminary drainage design with catch basins and piping eventually discharging down to the existing stream that runs through the wetlands on the property.

MR. PETRO: Mark, you have seven or eight bullets here? I guess you're going to have to discuss some of them with the applicant.

MR. EDSALL: Well, we did have the opportunity to follow up on the issue of the additional testing I knew it had been done, I had no record of it but now we have that so they have addressed some of the sanitary systems by going with shallow systems, they're confirming that they'll put in the curtain drains for all systems. The grade is definitely an issue, I don't know if Henry's had an opportunity to comment on that but they really need to pull that grading back so that they don't create a tunnel effect where the grading curves right out to the road, got to pull the hills back away from the road at the intersection to create a vision triangle. Other than that, it sounds to me like they made some progress.

MR. SHEFFIELD: In regards to the contours will we be able to curve those into the right-of-way more to make it so it's not a straight wall?

MR. EDSALL: Well, you're already grading in the right-of-way as it is and I'm sure the highway superintendent won't approve it this way, I think he'd prefer you having to do some more work in his right-of-way.

MR. SHEFFIELD: Can we set up a meeting with him?

MR. PETRO: Definitely.

MR. EDSALL: I'd come up with an alternate plan, get it in.

MR. ARGENIO: Mark, what's he talking about that's all I see just curling those contours is a little smoother, something beyond that.

MR. EDSALL: No, just want to pull that hill back.

MR. ARGENIO: I agree with the comment.

MR. EDSALL: Good thing it's in a curve so you've got some advantage from that.

MR. ARGENIO: Plenty of sight distance there.

MR. PETRO: Does this site interest you at all, something around here? Here's the man you have to talk to and that's the Salisbury Mills Fire Department, again, and you're the owner of the property obviously not in this section but you have other properties there maybe you can do something, they're looking for a substation in that area. Okay, we're not going to go much further, should determine if a public hearing would be necessary, I would say yes for a 4 lot subdivision, we'll schedule it, it won't hold you up because we'll schedule it as a regular meeting tonight before as long as there's no major issues, you won't lose any time but may get some input from the public. So when they're ready, can you do that? Motion to have a public hearing.

MR. SCHLESINGER: Make a motion we have a public hearing for the Schoonmaker Homes.

MR. ARGENIO: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board schedule and have a public hearing for the Schoonmaker Homes minor subdivision on New York State Route 207. Any further discussion? If not, roll call.

ROLL CALL

MR. SCHLESINGER	AYE
MR. MASON	AYE
MR. KARNAVEZOS	AYE
MR. ARGENIO	AYE
MR. PETRO	AYE

Orange County Department of Planning
Application for Mandatory County Review of Local Planning Action
(Variances, Zone Changes, Special Permits, Subdivisions)

To be completed by Local Board having jurisdiction.
To be signed by Local Official.

MUNICIPALITY: Town of New Windsor

TAX MAP ID: 32-1-11.3
(Section-Block-Lot)

Local File #: 04-20

Project Name: Schoonmaker Homes Subdivision

Applicant: John Steinberg

Send Copy of Letter to Applicant: (check one)

Address: 275 Route 17K, Newburgh, NY 12550

Yes ☒ No ☐

Attorney, Engineer, Architect: AFR Engineers and Land Surveyors, Monroe, NY

Location of Site: Kings Road and NYS Route 207
(Street, highway, nearest intersection)

Size of Parcel: 38.44 Acres Existing Lots: 1 Proposed Lots/Units: 4

Present Zoning District: R-1

TYPE OF REVIEW:

☐ Site Plan (SP): _____

☐ Special Use Permit* (SUP) _____

☐ Variance* USE (UV): _____

AREA (AV): _____

☐ Zoning District Change* From: _____ To: _____

☐ Zoning Amendment To Section: _____

☒ Subdivision: Major _____ Minor ☒

☐ Sketch ☐ Preliminary ☒ Final (Please indicate stage)

☒ Other: Comments: Reapproval of previously approved subdivision. Applicant failed to file plat.

Date: 6-8-07

Mark J. Edsall, P.E.
Signature

Mark J. Edsall, P.E., P.P.
Engineer for the Planning Board

* Cite Section of Zoning Regulations where pertinent.

FOR COUNTY USE ONLY

County ID# _____

GML 239 Referral Guide – 02/27/2007

**PLANNING BOARD
TOWN OF NEW WINDSOR
555 UNION AVENUE
NEW WINDSOR, N.Y. 12553**

Appl No: 4-20

File Date:08/24/2004

SEC-BLK-LOT:32-1-11-3

Project Name:SCHOONMAKER HOMES SUB. PA2004-0757

Type:1

Owner's Name:SCHOONMAKER HOMES

Phone:(845) 564-2252

Address:275 RT. 17K - NEWBURGH, NY 12550

Applicant's Name:SCHOONMAKER HOMES

Phone:

Address:SAME

Preparer's Name:AFR ENGINEERING

Phone:(845) 782-8681

Address:110 STAGE ROAD - MONROE, NY 10950

Proxy/Attny's Name:N/A

Phone:

Address:

Notify:LARRY TORRO FAX 782-4212

Phone:(845) 782-8681

Location:RT. 207 & KINGS ROAD

Acreage	Zoned	Prop-Class	Stage	Status
38.440	R-1	0		0
Printed-on	Schl-Dist	Sewr-Dist	Fire-Dist	Light-Dist
06/11/2007	WASH			

Appl for:4-LOT RESIDENTIAL SUBDIVISION

Addl Municipal Services:

Streets:

Water:

Sewer:

Garbage:

-----X

SCHOONMAKER HOMES P. B. #04-20


AFFIDAVIT OF SERVICE BY MAIL

MYRA L. MASON, being duly sworn, deposes and says:

That on the **12TH** day of OCTOBER, 2005, I compared the 14 addressed envelopes containing the Public Hearing Notice pertinent to this case with the certified list provided by the Assessor's Office regarding the above application for site plan/subdivision/special permit/lot line change approval and I find that the addresses are identical to the list received. I then placed the envelopes in a U.S. Depository within the Town of New Windsor.

Myra L. Mason
Myra L. Mason, Secretary

26th day of October, 20 05


Notary Public

JENNIFER MEAD
Notary Public, State Of New York
No. 01ME6050024
Qualified In Orange County
Commission Expires 10/30/2006

Town of New Windsor
PLANNING BOARD

PUBLIC HEARING NOTICE

NOTICE IS HEREBY GIVEN that the PLANNING BOARD of the TOWN OF NEW WINDSOR, County of Orange, State of New York will hold a PUBLIC HEARING at Town Hall, 555 Union Avenue, New Windsor, New York on OCTOBER 26, 2005 at 7:30 P.M. on the approval of the proposed Subdivision for SCHOONMAKER HOMES Located at RT. 207 & KINGS ROAD (Tax Map #Section 32, Block 2, Lot 84). Map of the proposed project is on file and may be inspected at the Planning Board Office, Town Hall, 555 Union Avenue, New Windsor, NY prior to the Public Hearing.

Date: October 11, 2005

BY ORDER OF
TOWN OF NEW WINDSOR PLANNING BOARD
JAMES R. PETRO, JR., CHAIRMAN

Ad Number: 1807027 Advertiser: NEW WINDSOR, TOWN

Phone: 8455634615 Sys No: 1194114 Caller: MYRA

INVOICING CUSTOMER:

Phone: 8455634615 Sys No: 1194114 AcctNo: P.O. No:

Name: NEW WINDSOR, TOWN Subscriber:

Address: ZONING AND PLANNING

555 UNION AVENUE

NEW WINDSOR NY 12553

ORDER:

Printed By: THRFODDRIL Date: 10/11/2005 Assigned Sales: TownofNewWindsor PLANNINGBOARD PUBLIC AdType: LINER Order Type: NORMAL

Manual Delay: Box No: Call Back: Y

NOTES:

Change Reason:

INSERTION:

Product: THI Paper: TH Class: 999X; LEGAL BILLING

Schedule: Start Date - 10/14/2005 End Date - 10/14/2005

Sort: TOWN OF NEW WINDSOR PLANNING BOARD PUBLIC

PRODUCTION:

Text Size: 2 x 24.00 ProdType: ENTERPRISE ColorNo: 0 Colors:

Tearsheets: 1 Proofs: 0 Affidavits: 1 Alt Addr: N

PRICING:

Price: 45.28 Payment Method: B1 Amount Paid: 0 Amount Owed: 45.28

Price Method: 0 (0=Normal, 1=User Net, 2=System Gross) Rate Code: LEL

For fields listed below 0 = NO 1 = YES

Till Forbid: 0 Mult. Content: 0

RECEIVED
OCT 20 2005

TIMES HERALD-RECORD

40 Mulberry Street, Middletown, NY 10940

State of New York:

County of Orange: ss:

Patricia Foddrill

Being duly sworn deposes and says that the ORANGE COUNTY PUBLICATIONS Division of Ottaway Newspapers-Radio, Inc. is a corporation organized under the laws of the State of New York and is, at all the times hereinafter mentioned, was the printer and publisher of The Times Herald-Record, a daily newspaper distributed in the Orange, Ulster, Rockland, Dutchess, Pike, PA, Delaware and Sullivan Counties, published in the English language in the City of Middletown, County of Orange, State of New York, that deponent is the

Legal Advertising Rep.

of said The Times Herald-Record acquainted with the facts hereinafter stated, and duly authorized by said Corporation to make this affidavit; that the

Public Notice

a true printed copy of which is hereunto annexed, has been duly and regularly published in the manner required by law in said The Times Herald-Record in each of its issues published upon each of the following dates, to wit: In its issues of

10/14/05

Signature of Representative:

Patricia Foddrill

Sworn in before me this

17

Day of

Oct.

2005

Gretchen Pina Breedy

Notary Public, Orange County

GRETCHEN PINA BREEDY
NOTARY PUBLIC FOR THE STATE
OF NEW YORK, ORANGE COUNTY
OATH / SIGNATURE IS ON FILE
COMMISSION EXPIRES 11/29/2005



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4631
Fax: (845) 563-3101

Assessors Office

August 1, 2005

Azzolina, Feury & Raimondi
ATT: Matt Schefield
110 Stage Road
Monroe, NY 10950

Re: 32-1-11.31 PBA#: 04-20 (14)

Dear Mr. Schefield:

According to our records, the attached list of property owners are across the street or abutting the above referenced property.

The charge for this service is \$35.00, minus your deposit of \$25.00.

Please remit the balance of \$10.00 to the Town Clerk's Office.

Sincerely,



J. Todd Wile, IAO
Sole Assessor

JTW/tmp
Attachments

CC: Myra Mason, Planning Board

George J Meyers, Supervisor
Town of New Windsor
555 Union Avenue
New Windsor, NY 12553

Deborah Green, Town Clerk
Town of New Windsor
555 Union Avenue
New Windsor, NY 12553

Andrew Krieger, Esq.
219 Quassaick Avenue
New Windsor, NY 12553

James Petro, Chairman
Planning Board
555 Union Avenue
New Windsor, NY 12553

Mark J Edsall, P.E.
McGoey & Hauser Consulting Engineers
33 Airport Center Drive – Suite 202
New Windsor, NY 12553

2-1-33
Washingtonville Central
School District ATT: Accounting
52 West Main Street
Washingtonville, NY 10992

2-1-34.1, 32-1-1&11.2, 32-2-4
NYS DOT – Accounting Bureau
ATT: Carlton Boorn
State Campus Bldg 5 – Rm 401
Albany, NY 12232-0745

32-1-8
Peter & Mary Jane Donohue
Arden Romanowski
22 Kings Road
New Windsor, NY 12553

32-1-10.12
Jane & Edward Flanagan, Jr.
27 Kings Road
New Windsor, NY 12553

32-1-11.32
Baeuerle et al
c/o Dr. E.M. Schlick
65 South Little Tor Road
New City, NY 10956

32-1-12
Richard & Linda Ostner
66 Union Avenue
New Windsor, NY 12553

32-1-26.5
John Tooma
Julie Reese
21 Donnelly Place
New Windsor, NY 12553

32-1-26.6
Eugene & Jeanne Delongis
29 Donnelly Place
New Windsor, NY 12553

32-2-84
Builders Assoc. of the
Hudson Valley, Inc.
P.O. Box 7123
Newburgh, NY 12550

LEGAL NOTICE

NOTICE IS HEREBY GIVEN that the PLANNING BOARD of the TOWN OF NEW WINDSOR, County of Orange, State of New York will hold a PUBLIC HEARING at Town Hall, 555 Union Avenue, New Windsor, New York on **OCTOBER 26, 2005** at 7:30 P.M. on the approval of the proposed Subdivision for **SCHOONMAKER HOMES** Located at **RT. 207 & KINGS ROAD** (Tax Map #Section **32**, Block **2**, Lot **84**) . Map of the proposed project is on file and may be inspected at the **Planning Board Office**, Town Hall, 555 Union Avenue, New Windsor, NY prior to the Public Hearing.

Date: October 11, 2005

By Order of

TOWN OF NEW WINDSOR PLANNING BOARD

James R. Petro, Jr., Chairman



PROJECT: Schoonmaker Homes Sub. P.B. # 04-20

Mark's comments

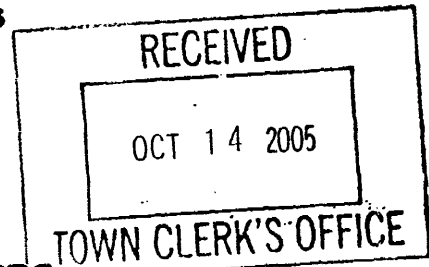
Have Henry review ~~grading~~ - They are to submit an alternative plan then have Henry

2/9/05 Turk L.A.



TOWN OF NEW WINDSOR

TOWN CLERK'S OFFICE
555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553
Telephone: (845) 563-4611
Fax: (845) 563-4670



REQUEST FOR PUBLIC RECORDS

Date: 10/14/05
Name: RUGENIE DELONGIS
Address: 29 DONNELLY PL
NEW WINDSOR
Phone: () 557 1598
Representing: SRP

Please specify:

- Property location (street address or section, block and lot number)
- Department you are requesting records from
- Describe information requested as fully as possible

RT 207 + KING RD

Documents may not be taken from this office.

SCHOONMAKER HOMES SUBDIVISION (04-20)

Mr. Matthew Scheffield appeared before the board for this proposal.

MR. PETRO: Schoonmaker Homes proposed 4 lot residential subdivision. Application proposes the subdivision of 38 acre parcel into 4 single family residential lots. Property is split by the OLI zoning district and the R-1 zoning district. It's my understanding that as of July, 2002 this specific parcel is now all R-1 as per a notation on the zoning map. Required bulk information shown on the plan is correct for the zoning use, although the tables should be expanded to reflect the minimum livable area of 1,200 square feet. Do you have a copy of Mark's comments?

MR. SCHEFFIELD: No, not yet.

MR. PETRO: Storm water impact on the development will be a concern, existing significant courses exist to the east and northeast of the development area and some additional courses exist in the area of the proposed roadway and house and sanitary systems, the courses in the area of the proposed development must be further delineated on the plan, additional detailed evaluation of this aspect is necessary. Curtain drain systems are recommended for all sanitary systems, the plan does not indicate the proposed roadway as public or private, it appears that a private road is proposed due to the sketchy information on the plan. There's other comments. We can assume the position of lead agency.

MR. ARGENIO: I'll make the motion we take lead agency.

MR. SCHLESINGER: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board assume lead agency for the

Schoonmaker Homes minor subdivision on Route 207. Any further discussion from the board members? If not, roll call.

ROLL CALL

MR. MASON	AYE
MR. KARNAVEZOS	AYE
MR. SCHLESINGER	AYE
MR. ARGENIO	AYE
MR. PETRO	AYE

MR. PETRO: Why don't you go over this plan and show us how you're breaking it up and for what purpose and what you're doing.

MR. SCHEFFIELD: Probably look at the second sheet has more detail, the first sheet is just the lot lines, okay, we have basically cul-de-sac road coming off Kings Road about 250 feet with 4 proposed lots each with individual well.

MR. PETRO: Didn't somebody just build a new house there?

MR. MINUTA: Yes, down the road.

MR. SCHLESINGER: Biagini built the house.

MR. BABCOCK: This is up on Kings Road.

MR. PETRO: Your cul-de-sac width, Mark, is correct radius and all that, you looked at all that?

MR. EDSALL: I believe it is, I can doublecheck.

MR. PETRO: We don't need to do that now because you're going to have to go over, you have a number of comments from Mark, we're not going to do it now, basically, I just want to look at this. Have the members looked at

this for concept this plan? Does anybody have any comment or objection to the way it lays out and if not we're going to let Mark review these comments and you'll come back again and have it more technically--

MR. KARNAVEZOS: I don't have any objections, just curious how you're going to have a septic tank in there where it's that close to the water, how you're going to get any kind of perc.

MR. SCHEFFIELD: We did the perc and deep tests already.

MR. PETRO: They were--

MR. MINUTA: What were the results?

MR. PETRO: Viewed by our engineer?

MR. SCHEFFIELD: Yes, they witnessed them, perc and deep tests.

MR. EDSALL: You'll notice one of my concerns is the separation between the bottom of the distribution field trenches and the ground water and also to modeled soil because there's enough wetlands that the ground water does surcharge to some extent so I want them to as best possible protect the systems with curtain drains and pull them back as far as they can so that's an absolute concern, if you look at the soils logs you'll see that it's apparent that they're right next to a wetland.

MR. ARGENIO: Expansion area on both of them is right at the buffer.

MR. PETRO: We'll have a public hearing on this, I'm not going to schedule it now, all right. Anything else, gentlemen?

MR. SHEFFIELD: With the hundred foot buffer it does

drop off quite a bit so you've got eight to ten feet, it's not like it's flat and then all of a sudden there's a buffer but it does drop off quite a bit off the back there.

MR. EDSALL: Did you clarify if this is a private or Town road?

MR. SHEFFIELD: It's a private road.

MR. EDSALL: Really doesn't say it on the plans but--

MR. SHEFFIELD: It's proposed to be a private road.

MR. PETRO: I'd like to see you clean up some of Mark's comments, come back again when the plan is really ready then we're going to have a public, set it up for a public hearing. The members don't have a problem as long as it works, you know, you're meeting the zoning and you're meeting the zoning laws so--

MR. EDSALL: Just doublecheck the cul-de-sac at the right-of-way has to be 120 foot and the finished area unless you get a waiver for a different configuration, has to be 100 foot diameter.

MR. SHEFFIELD: Okay.



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E. (NY & PA)

WILLIAM J. HAUSER, P.E. (NY & NJ)

MARK J. EDSALL, P.E. (NY, NJ & PA)

JAMES M. FARR, P.E. (NY & PA)

MAIN OFFICE

33 AIRPORT CENTER DRIVE

SUITE 202

NEW WINDSOR, NEW YORK 12553

(845) 567-3100

FAX: (845) 567-3232

E-MAIL: MHENY@MHEPC.COM

WRITER'S E-MAIL ADDRESS:

MJE@MHEPC.COM

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: SCHOONMAKER HOMES MINOR SUBDIVISION
PROJECT LOCATION: NYS ROUTE 207 (NEAR KINGS ROAD)
SECTION 32 – BLOCK 1 – LOT 11.3
PROJECT NUMBER: 04-20
DATE: 9 FEBRUARY 2004
DESCRIPTION: THE APPLICATION PROPOSES THE SUBDIVISION OF THE 38+
ACRE PROPERTY INTO FOUR (4) SINGLE-FAMILY RESIDENTIAL
LOTS. THE PLAN WAS REVIEWED ON A CONCEPT BASIS ONLY.

1. The property was previously split by the OLI zoning district and the R-1 zoning district of the Town. It is my understanding that, as of 3 July 2002, this specific parcel is now all R-1, as per a notation on the zoning map.

The required bulk information shown on the plan is correct for the zone and use, although the table should be expanded to reflect the minimum livable area of 1200 sf.

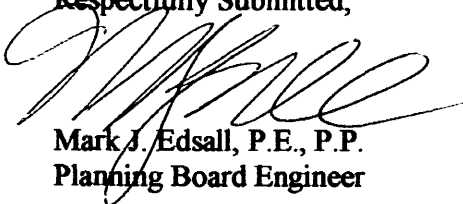
2. I have performed a concept review of the plan and note the following comments:
 - Stormwater impact on the development will be a concern. Existing significant courses exist to the east and northeast of the development area, and some additional courses exist in the area of the proposed roadway and houses/sanitary systems. The courses in the area of the proposed development must be further delineated on the plan. Additional detailed evaluation of this aspect is necessary.
 - Curtain drain systems are recommended for all sanitary systems.
 - I am concerned regarding the spacing between apparent soil mottling and the proposed system for lot # 2.
 - The plan does not indicate if the proposed roadway is Public or Private. (it appears that a private road is intended based on sketchy information on the plan).

REGIONAL OFFICES

• 507 BROAD STREET • MILFORD, PENNSYLVANIA 18337 • 570-296-2765 •
• 540 BROADWAY • MONTICELLO, NEW YORK 12701 • 845-794-3399 •

- Details of all construction are required on the plan.
 - Site development grading is not indicated. Existing contours are difficult to read (printing too light). Proposed rough grading must be indicated and a roadway profile included. A significant slope exists at the access point to Kings Drive. The plan does not address this design issue.
 - Sight distances should be indicated for the access to the Town Road.
 - The plan does not include any metes and bounds for the roadway right-of-way, or lot division lines. This must be shown.
3. The Planning Board may wish to assume the position of Lead Agency under the SEQRA review process.
 4. The new Subdivision regulations adopted in March 2004 include a provision under Section 257-25 (B) which requires that all applications demonstrate that each lot is to be "buildable". The Board should carefully review and consider the lots so as to be convinced the applicant has demonstrated compliance with this section.
 5. The Planning Board should determine if a Public Hearing will be necessary for this minor subdivision (in form of lot line change), or if same can be waived per Section 257-13 (A) of the Subdivision Regulations.
 6. Effective September 1, 2004, the Orange County Planning Department resumed review of all projects and actions that meet the requirements of New York State General Municipal Law (GML 239). Effectively, all projects within 500-foot distance requirements of the State statute (to municipal boundaries; county or state park; county or state highway; county drainage channel or right-of-way; county or state property with a building; or farm operation in an agricultural district) must again be referred to the OCPD for review.
 7. As per the 911 Policy of the Town, this project will require the assignment of a street name and 911 address numbering at the Preliminary approval stage of the subdivision review.

Respectfully Submitted,



Mark J. Edsall, P.E., P.P.
Planning Board Engineer



PROJECT: Schoonmaker Names P.B. # 04-20

NEGATIVE DEC:

M) S) VOTE: A N

CARRIED: Y N

CARRIED: Y ☒ N ☐

M) _____ S) _____ VOTE: A _____ N _____ SCHEDULE P.H.: Y _____ N _____

SEND TO DEPT. OF TRANSPORTATION: Y

REFER TO Z.B.A.: M) S) VOTE: A N

RETURN TO WORK SHOP: Y N

APPROVAL:

M) _____ S) _____ VOTE: A _____ N _____ APPROVED: _____

NEED NEW PLANS: Y N

CONDITIONS – NOTES:

Address Mark's comments

Come back to Workshop

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 08/24/2004

PAGE: 1

LISTING OF PLANNING BOARD **FEES**
ESCROW

FOR PROJECT NUMBER: 4-20

NAME: SCHOONMAKER HOMES SUB. PA2004-0757
APPLICANT: SCHOONMAKER HOMES

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
08/24/2004	REC. CK. #16100	PAID		800.00	
		TOTAL:	0.00	800.00	-800.00

[Handwritten signature]
9/1/04

Town of New Windsor
555 Union Avenue
New Windsor, NY 12553
(845) 563-4611

RECEIPT
#897-2004

08/31/2004

Schoonmaker Homes *P.B. #04-20*

Received \$ 75.00 for Planning Board Fees, on 08/31/2004. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Deborah Green
Town Clerk



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

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WILLIAM J. HAUSER, P.E. (NY & NJ)

MARK J. EDSALL, P.E. (NY, NJ & PA)

JAMES M. FARR, P.E. (NY & PA)

6/9/04
Note: Accept Application
Per Mark + checks w/o plans
to open file until
perc tests are complete.

☐ Main Office

33 Airport Center Drive
Suite #202
New Windsor, New York 12553
(845) 567-3100
e-mail: mhenry@mhepc.com

☐ Regional Office

507 Broad Street
Milford, Pennsylvania 18337
(570) 296-2765
e-mail: mhepa@mhepc.com

Writer's E-mail Address:
mje@mhepc.com

**PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE**

TOWN / VILLAGE OF:

New Windsor

P/B APP. NO.

100-3
04-20

WORK SESSION DATE:

2 June 04

PROJECT: NEW X OLD

REAPPEARANCE AT W/S REQUESTED:

Y/N

RESUB. REQ'D:

Full app.

PROJECT NAME:

Schoonmaker Homes

4-lot sub.

REPRESENTATIVES PRESENT:

Matt Sheffield

MUNICIPAL REPS PRESENT:

BLDG INSP.
ENGINEER X
P/B CHMN

FIRE INSP. _____
PLANNER _____
OTHER _____

ITEMS DISCUSSED:

Kings Road

STND CHECKLIST:

PROJECT
TYPE

DRAINAGE _____

SITE PLAN

DUMPSTER _____

SPEC PERMIT

SCREENING _____

L L CHG.

LIGHTING _____

SUBDIVISION

(Streetlights)

LANDSCAPING _____

OTHER

BLACKTOP _____

ROADWAYS _____

APPROVAL BOX _____

PROJECT STATUS:

ZBA Referral: _____ Y _____ N

Ready For Meeting _____ Y _____ N

Recommended Mtg Date _____

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553
Telephone: (845) 563-4615
Fax: (845) 563-4695

PLANNING BOARD APPLICATION

TYPE OF APPLICATION (check appropriate item):

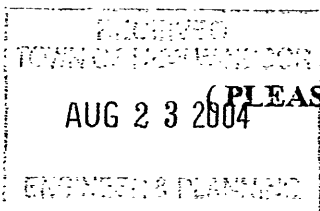
Subdivision ☒ Lot Line Change _____ Site Plan _____ Special Permit _____

Tax Map Designation: Sec. 32 Block 1 Lot 11.3

BUILDING DEPARTMENT PERMIT NUMBER PA 2004 - 0757

1. Name of Project Proposed Subdivision for Schoonmaker Homes
2. Owner of Record Schoonmaker Homes Phone (845) 564-2252
Address: 275 Route 17k Newburgh, NY 12550
(Street Name & Number) (Post Office) (State) (Zip)
3. Name of Applicant Same Phone _____
Address: _____
(Street Name & Number) (Post Office) (State) (Zip)
4. Person Preparing Plan AFR Engineering Phone (845) 782-8681
Address: 110 Stage Rd. Monroe NY 10950
(Street Name & Number) (Post Office) (State) (Zip)
5. Attorney _____ Phone _____
Address _____
(Street Name & Number) (Post Office) (State) (Zip)
6. Person to be notified to appear at Planning Board meeting:
Larry Torro P.E. (845) 782-8681 (845) 782-4212
(Name) (Phone) (fax)
7. Project Location: On the South side of NYS Rt. 207 & Kings Road
(Direction) (Street)
8. Project Data: Acreage 38.44 Zone R-1 School Dist. _____

PAGE 1 OF 2



(PLEASE DO NOT COPY 1 & 2 AS ONE PAGE TWO-SIDED)

04-201

9. Is this property within an Agricultural District containing a farm operation or within 500 feet of a farm operation located in an Agricultural District? Yes _____ No X

***This information can be verified in the Assessor's Office.**

***If you answer yes to question 9, please complete the attached Agricultural Data Statement.**

10. Detailed description of Project: (Use, Size, Number of Lots, etc.) 4 Lot Residential Subdivision

11. Has the Zoning Board of Appeals Granted any Variances for this property? yes _____ no X

12. Has a Special Permit previously been granted for this property? yes _____ no X

IF THIS APPLICATION IS SIGNED BY ANYONE OTHER THAN THE PROPERTY OWNER, A SEPARATE NOTARIZED STATEMENT OR PROXY STATEMENT FROM THE OWNER MUST BE SUBMITTED, AT THE TIME OF APPLICATION, AUTHORIZING THIS APPLICATION.

STATE OF NEW YORK)

SS.:

COUNTY OF ORANGE)

THE UNDERSIGNED APPLICANT, BEING DULY SWORN, DEPOSES AND STATES THAT THE INFORMATION, STATEMENTS AND REPRESENTATIONS CONTAINED IN THIS APPLICATION AND SUPPORTING DOCUMENTS AND DRAWINGS ARE TRUE AND ACCURATE TO THE BEST OF HIS/HER KNOWLEDGE AND/OR BELIEF. THE APPLICANT FURTHER ACKNOWLEDGES RESPONSIBILITY TO THE TOWN FOR ALL FEES AND COSTS ASSOCIATED WITH THE REVIEW OF THIS APPLICATION.

SWORN BEFORE ME THIS:

John Steinberg
(OWNER'S SIGNATURE)

18th DAY OF Aug 2004

RUTH ANN RONSINI
Notary Public, State of New York
Qualified in Orange County
4937814

Commission Expires July 25, 2006

Ruth A Ronsini

NOTARY PUBLIC

(AGENT'S SIGNATURE)

Please Print Agent's Name as Signed

TOWN USE ONLY:
TOWN OF PLAINFIELD

AUG 23 2004

DATE APPLICATION RECEIVED

04-20

APPLICATION NUMBER

AGENT/OWNER PROXY STATEMENT

(professional representation)

for submittal to the:
TOWN OF NEW WINDSOR PLANNING BOARD

John Steinberg, deposes and says that he resides
(OWNER)
C/O Schoonmaker Homes
at 275 RT. 17K in the County of ORANGE
NEW YORK (OWNER'S ADDRESS)
and State of N.Y. and that he is the owner of property tax map
(Sec. 32 Block 1 Lot 11.3)
designation number (Sec. _____ Block _____ Lot _____) which is the premises described in
the foregoing application and that he designates:

(Agent Name & Address)

(Name & Address of Professional Representative of Owner and/or Agent)

as his agent to make the attached application.

**THIS DESIGNATION SHALL BE EFFECTIVE UNTIL WITHDRAWN BY THE OWNER OR
UNTIL TWO (2) YEARS FROM THE DATE AGREED TO, WHICHEVER IS SOONER.**

SWORN BEFORE ME THIS:

****** John Steinberg
Owner's Signature (MUST BE NOTARIZED)

18th DAY OF Aug. 2004

RUTH ANN RONSINI
Notary Public, State of New York
Qualified in Orange County

4937814
Commission Expires July 25, 2006

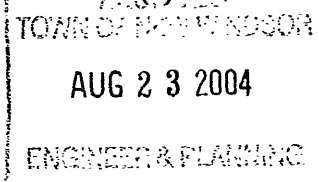
Ruth Ann Ronsini
NOTARY PUBLIC

Agent's Signature (If Applicable)

Professional Representative's Signature

**** PLEASE NOTE: ONLY OWNER'S SIGNATURE MUST BE NOTARIZED.**


THIS PROXY SHALL BE VOID TWO (2) YEARS AFTER AGREED TO BY THE OWNER

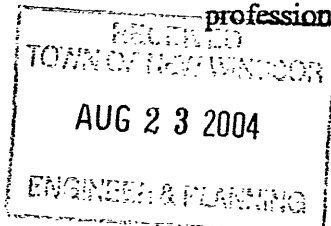


04-20

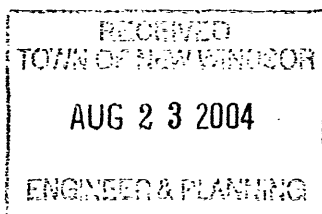
**TOWN OF NEW WINDSOR PLANNING BOARD
SUBDIVISION/LOT LINE CHANGE CHECKLIST**

The following checklist items shall be incorporated on the Subdivision Plan prior to consideration for being placed on the Planning Board Agenda:

1. ☒ Name and address of Applicant.
 - * 2. ☒ Name and address of Owner.
 3. ☒ Subdivision name and location
 4. ☒ Provide 4" wide X 2" high box (IN THE LOWEST RIGHT CORNER OF THE PLAN) for use by Planning Board in affixing Stamp of Approval. (ON ALL PAGES OF SUBDIVISION PLAN)
- SAMPLE:** 
5. ☒ Tax Map Data (Section, Block & Lot).
 6. ☒ Location Map at a scale of 1" = 2,000 ft.
 7. ☒ Zoning table showing what is required in the particular zone and what applicant is proposing.
 8. ☒ Show zoning boundary if any portion of proposed subdivision is within or adjacent to a different zone.
 9. ☒ Date of plat preparation and/or date of any plat revisions.
 10. ☒ Scale the plat is drawn to and North arrow.
 11. ☒ Designation (in title) if submitted as sketch plan, preliminary plan or final plan.
 12. ☒ Surveyor's certificate.
 13. ☒ Surveyor's seal and signature.
 14. ☒ Name of adjoining owners.
 15. ☒ Wetlands and 100 foot buffer zone with an appropriate note regarding DEC requirements.
 - * 16. ☒ N/A Flood land boundaries.
 17. ☒ A note stating that the septic system for each lot is to be designed by a licensed professional before a building permit can be issued.



18. ☒ Final metes and bounds.
19. ☒ Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street.
20. ☒ Include existing or proposed easements.
21. ☒ Right-of-way widths.
22. ☒ Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 16 ft. wide).
23. ☒ Lot area (in square feet for each lot less than 2 acres).
24. ☒ Number the lots including residual lot.
25. ☒ Show any existing waterways.
- *26. ☒ A note stating a road (or any other type) maintenance agreement is to be filed in the Town Clerk's Office and County Clerk's Office.
27. ☒ Applicable note pertaining to owner's review and concurrence with plat together with owners signature.
28. ☒ Show any existing or proposed improvements, i.e., drainage systems, water lines, sewer lines, etc. (including location, size and depths).
29. ☒ Show all existing houses, accessory structures, existing wells and septic systems within 200 ft. of the parcel to be subdivided.
30. ☒ Show all and proposed on-site A septic system and well locations; with percolation and deep test locations and information, including date of test and name of professional who performed test.
31. ☒ Provide A septic system design notes as required by the Town of New Windsor.
32. ☒ Show existing grade by contour (2 ft. interval preferred) and indicate source of contour data.
33. ☒ Indicate percentage and direction of grade.
34. ☒ Indicate any reference to previous, i.e., file map date, file map number and previous lot number.
35. ☒ Indicate location of street or area lighting (if required).



REFERRING TO QUESTION 9 ON THE APPLICATION FORM, IS THIS PROPERTY WITHIN AN AGRICULTURAL DISTRICT CONTAINING A FARM OPERATION OR WITHIN 500 FEET OF A FARM OPERATION LOCATED IN AN AGRICULTURAL DISTRICT, PLEASE NOTE THE FOLLOWING:

36. N/A Referral to Orange County Planning Dept. is required for all applicants filing AD Statement.
37. N/A A disclosure Statement, in the form set below, must be inscribed on all subdivision maps prior to the affixing of a stamp of approval, whether or not the Planning Board specifically requires such a statement as a condition of approval.

Prior to the sale, lease, purchase, or exchange of property on this site which is wholly or partially within or immediately adjacent to or within 500 feet of a farm operation, the purchaser or leasor shall be notified of such farm operation with a copy of the following notification.

It is the policy of this State and this community to conserve, protect and encourage the development and improvement of agricultural land for the production of food, and other products, and also for its natural and ecological value. This notice is to inform prospective residents that the property they are about to acquire lies partially or wholly within an agricultural district or within 500 feet of such a district and that farming activities occur within the district. Such farming activities may include, but not be limited to, activities that cause noise, dust and odors.

This list is provided as a guide only and is for the convenience of the Applicant. The Town of New Windsor Planning Board may require additional notes or revisions prior to granting approval.

PREPARER'S ACKNOWLEDGMENT:

THE PLAT FOR THE PROPOSED SUBDIVISION HAS BEEN PREPARED IN ACCORDANCE WITH THIS CHECKLIST AND THE TOWN OF NEW WINDSOR ORDINANCES, TO THE BEST OF MY KNOWLEDGE.

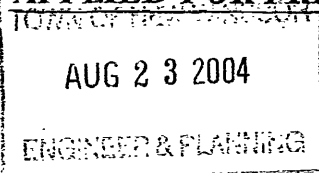
BY: [Signature] 7.E 8/18/04
Licensed Professional Date

⌘ ⌘ ⌘ ⌘ ⌘ ⌘

PLEASE NOTE:

⌘ ⌘ ⌘ ⌘ ⌘ ⌘

THE APPLICANT OR THEIR REPRESENTATIVE IS RESPONSIBLE TO KEEP TRACK OF ALL EXPIRATION DATES FOR ANY AND ALL APPROVALS GRANTED TO A PROJECT. EXTENSIONS MUST BE APPLIED FOR PRIOR TO EXPIRATION DATE.



PROJECT I.D. NUMBER

617.21

SEQR

Appendix C

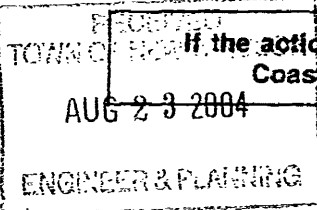
State Environmental Quality Review

SHORT ENVIRONMENTAL ASSESSMENT FORM

For UNLISTED ACTIONS Only

PART I—PROJECT INFORMATION (To be completed by Applicant or Project sponsor)

1. APPLICANT /SPONSOR <u>Schoonmaker Homes</u>	2. PROJECT NAME <u>Proposed Subd. for Schoonmaker Homes</u>
3. PROJECT LOCATION: Municipality <u>New Windsor</u> County <u>Orange</u>	
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map) <u>Kings Road (see map)</u>	
5. IS PROPOSED ACTION: <input checked="" type="checkbox"/> New <input type="checkbox"/> Expansion <input type="checkbox"/> Modification/alteration	
6. DESCRIBE PROJECT BRIEFLY: <u>Four Lot residential subdivision</u>	
7. AMOUNT OF LAND AFFECTED: Initially <u>7.7</u> acres Ultimately <u>7.7</u> acres	
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe briefly	
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open space <input type="checkbox"/> Other Describe:	
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency(s) and permit/approvals	
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency name and permit/approval	
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE	
Applicant/sponsor name: <u>Matthew Sheffield for AFR Engineering</u> Date: <u>5/18/04</u>	
Signature: <u>Matthew Sheffield</u>	



If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment

OVER

1

04-20

PART II—ENVIRONMENTAL ASSESSMENT (To be completed by Agency)

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.12? If yes, coordinate the review process and use the FULL EAF.
☐ Yes ☐ No

B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.8? If No, a negative declaration may be superseded by another involved agency.
☐ Yes ☐ No

C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)

C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic patterns, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:

C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:

C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:

C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly:

C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly:

C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly:

C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly:

D. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS?
☐ Yes ☐ No If Yes, explain briefly

PART III—DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

INSTRUCTIONS: For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed.

☐ Check this box if you have identified one or more potentially large or significant adverse impacts which **MAY** occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.

☐ Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action **WILL NOT** result in any significant adverse environmental impacts **AND** provide on attachments as necessary, the reasons supporting this determination:

Name of Lead Agency

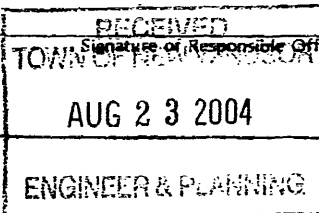
Print or Type Name of Responsible Officer in Lead Agency

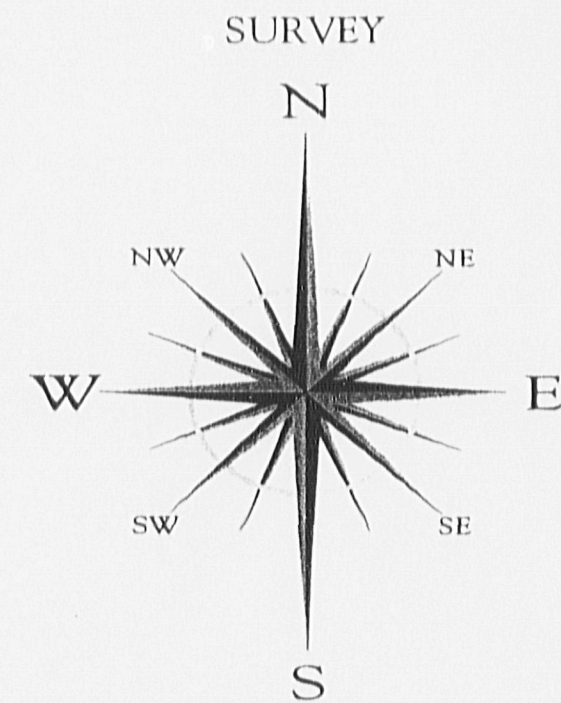
Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (If different from responsible officer)

Date





ZONING BULK TABLE

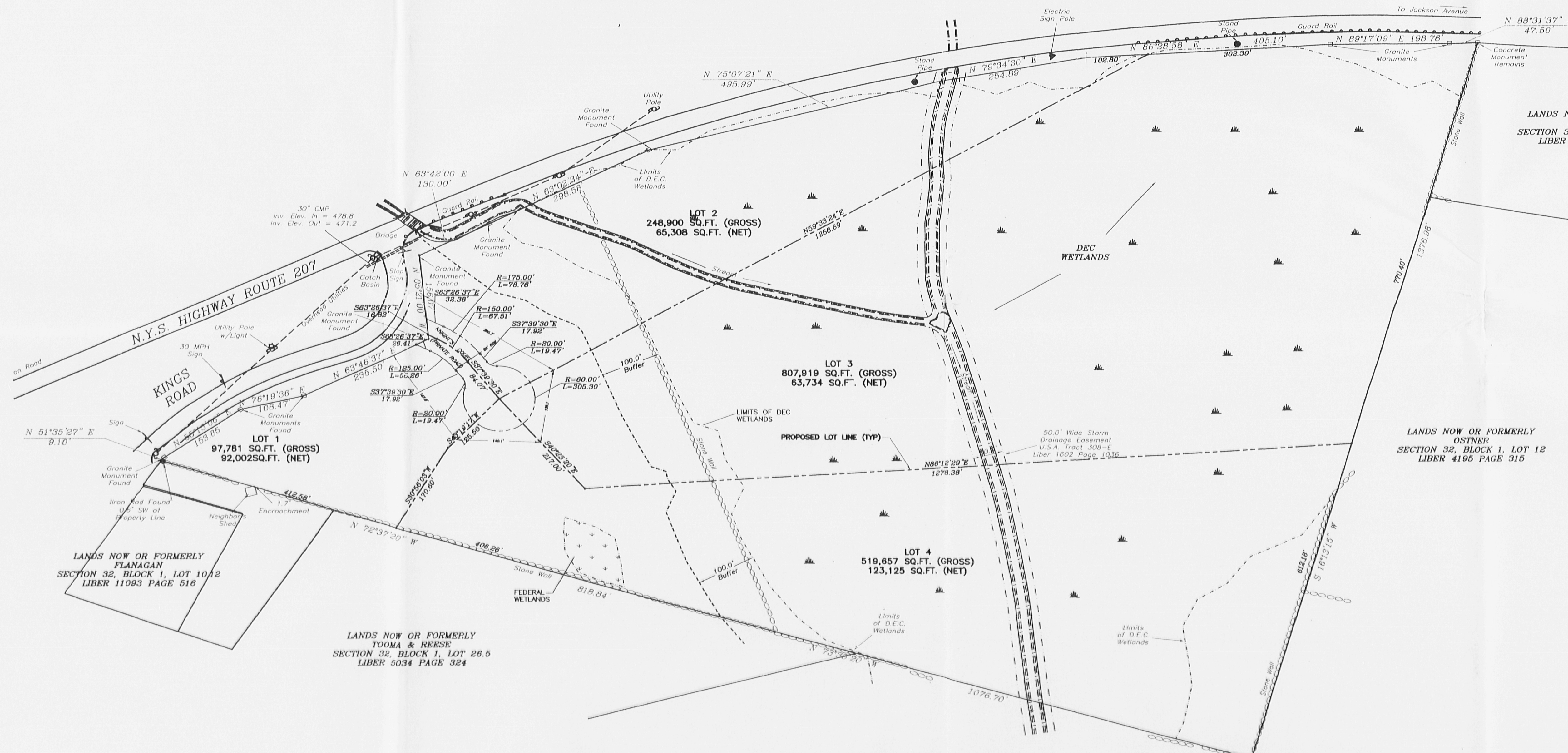
ZONE: R-1

MINIMUM LOT REQUIREMENTS:

LOT AREA	REQUIRED	LOT 1	LOT 2	LOT 3	LOT 4
GROSS	80,000 SQ.FT.	97,781 SQ.FT.	248,900 SQ.FT.	807,919 SQ.FT.	517,883 SQ.FT.
NET (80% OF GROSS)	48,000 SQ.FT.	92,002 SQ.FT.	65,308 SQ.FT.	63,734 SQ.FT.	113,396 SQ.FT.
LOT WIDTH	175'	187.9'	255.7'	135.1'	140.1'
YARD REQUIREMENTS:					
FRONT	45'	45'	45'	45'	45'
SIDE 1/TOTAL	40'/80'	40'/80'+	40'/80'+	40'/80'+	40'/80'+
REAR	50'	50'+	50'+	50'+	50'+
FRONTAGE	70'	194.7'	214.5'	83.8'	80.9'
BUILDING HEIGHT	35'	<35'	<35'	<35'	<35'
DEVELOPMENT COVERAGE (MAX.)	20%	<20%	<20%	<20%	<20%
MIN. LIVABLE FLOOR AREA	1,200SF	1,200SF+	1,200SF+	1,200SF+	1,200SF+
*125' IF GREATER THAN 50% ROAD FRONTAGE ON CUL-DE-SAC					



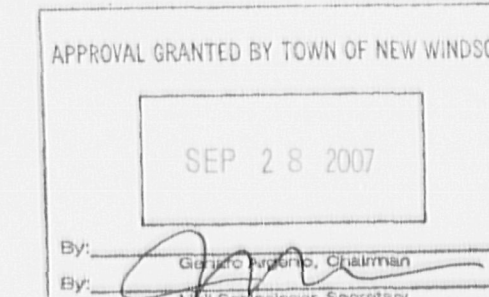
LOCATION MAP
SCALE: 1"=2000'



GENERAL NOTES

- OWNER/APPLICANT:
SCHOONMAKER HOMES
JOHN STEINBERG
275 ROUTE 17K
NEWBURGH, NY 12550
- MAP REFERENCE:
BOUNDARY, WETLANDS AND TOPOGRAPHY
FROM A MAP ENTITLED, "LANDS OF SCHOONMAKER",
BY DANIEL P. YANOSH, PLS,
FEBRUARY 10, 2004.
- TAX MAP DESIGNATION:
SECTION 32, BLOCK 1, LOT 11.3
- DEED REFERENCE:
LIBER 11170 PAGE 1846
- TOTAL ACREAGE:
1,674,542 SQ. FT. or
38.44± ACRES
- LOCATIONS OF ALL UTILITIES AND SUBSTRUCTURES
ARE APPROXIMATE ONLY BASED ON SURFACE
EVIDENCE AND EXISTING PLANS. THE INFORMATION
GIVEN ON THE SURVEY PERTAINING TO UTILITIES AND
SUBSTRUCTURES IS NOT CERTIFIED AS TO THE
ACCURACY OR COMPLETENESS. CONSULT WITH THE
APPROPRIATE COMPANY OR AGENCY BEFORE
DESIGNING OR CONSTRUCTING IMPROVEMENTS.

EG11 ASSIGNED NUMBERS
LOT #1 9 KNIGHT'S COURT
LOT #2 6 KNIGHT'S COURT
LOT #3 14 KNIGHT'S COURT
LOT #4 11 KNIGHT'S COURT

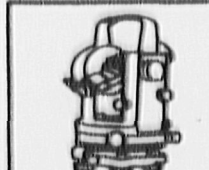


DATE	ISSUE	DESCRIPTION	CHD. BY
3/2/06	5	PER HIGHWAY SUPERINTENDENT	
1/10/06	4	PER ENGINEER COMMENTS	
1/3/06	3	PER ENGINEER COMMENTS	
8/9/05	2	PER ENGINEER COMMENTS	
6/1/05	1	PER ENGINEER COMMENTS	

FEBRUARY 10, 2004
CERTIFIED TRUE AND CORRECT
TO BE A TRUST SURVEY PERFORMED IN THE FIELD
ON FEBRUARY 10, 2004, AND THAT IS TO THE BEST
OF MY KNOWLEDGE AND BELIEF CORRECT.

DANIEL P. YANOSH L.L.S.
N.Y.S. LIC. #49561

LANDS NOW OR FORMERLY
DELONGIS
SECTION 32, BLOCK 1, LOT 26.6
LIBER 4754 PAGE 62



DANIEL P. YANOSH N.Y.S. L.S.
P.O. BOX 320 - 2194 N.Y.S. ROUTE 302
CIRCLEVILLE, NEW YORK 10919
PHONE #: (845) 361 - 4700 FAX #: (845) 361 - 4722

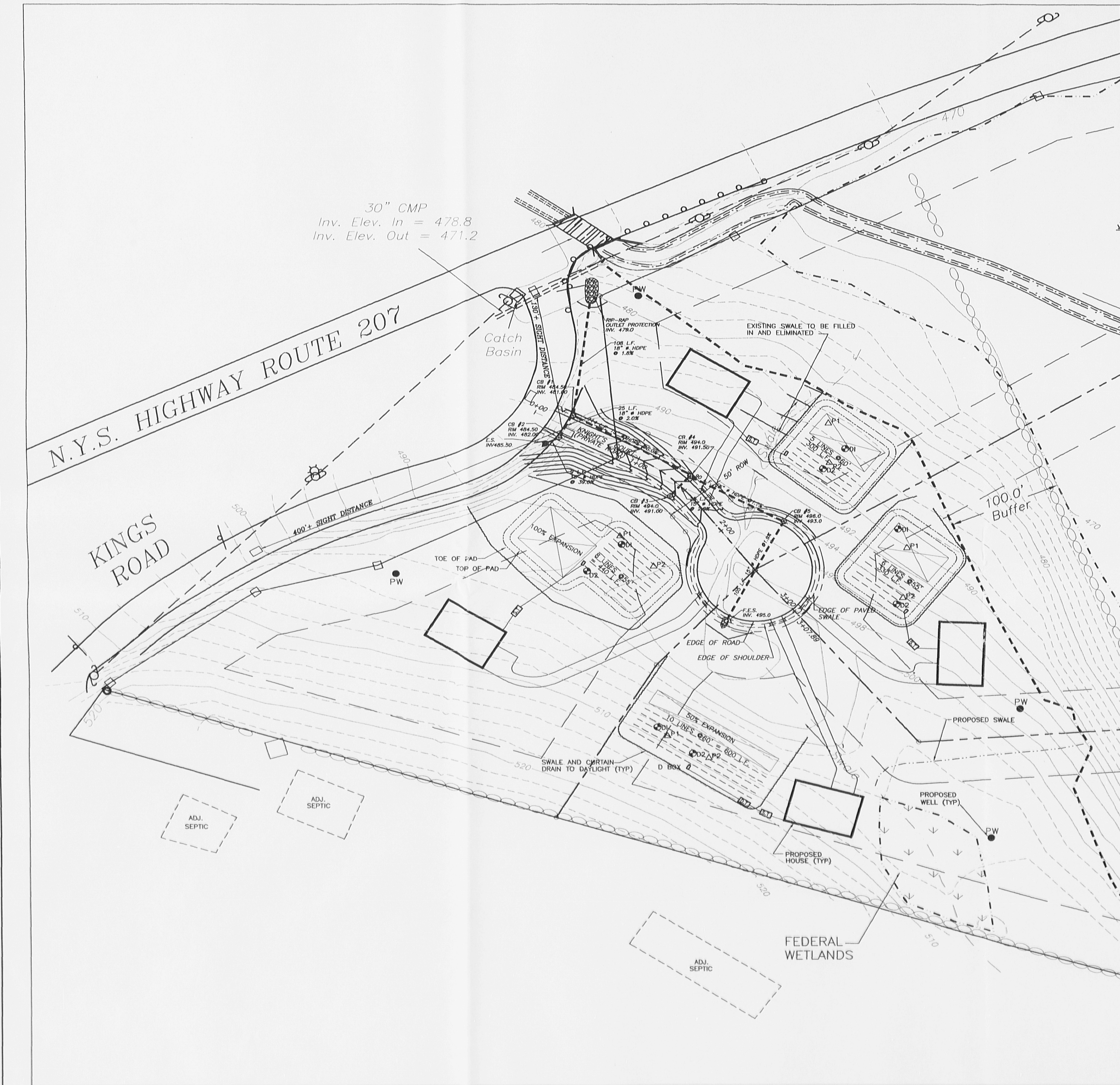
ONLY COPIES OF THIS MAP BEARING THE EMBOSSED SEAL OF A
NEW YORK STATE LICENSED ENGINEER OR LAND SURVEYOR ARE VALID
UNAUTHORIZED ALTERATION OR ADDITION TO THIS MAP IS A VIOLATION OF
SECTION 7206, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.
CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR
SUBSEQUENT OWNERS.
EASEMENTS OR RIGHTS OF WAY ON OR BELOW THE SURFACE OF THE GROUND
THAT ARE NOT VISIBLE ARE NOT SHOWN.
SUBJECT TO THE PROGRESS OF A COMPLETE AND UP TO DATE TITLE SEARCH

PROPOSED SUBDIVISION
FOR
SCHOONMAKER HOMES
TOWN OF NEW WINDSOR - ORANGE COUNTY - NEW YORK

AFR Azzolina, Feary & Raimondi Engineering Group

30 Madison Avenue, Paramus, NY 07652 - (201) 845-8500 - Fax (201) 845-5825
120 Woodland Avenue, Westwood, NJ 07675 - (201) 686-0534 - Fax (201) 686-5248
110 Shage Road, Moravia, NY 10800 - (845) 782-6881 - Fax (845) 782-6212

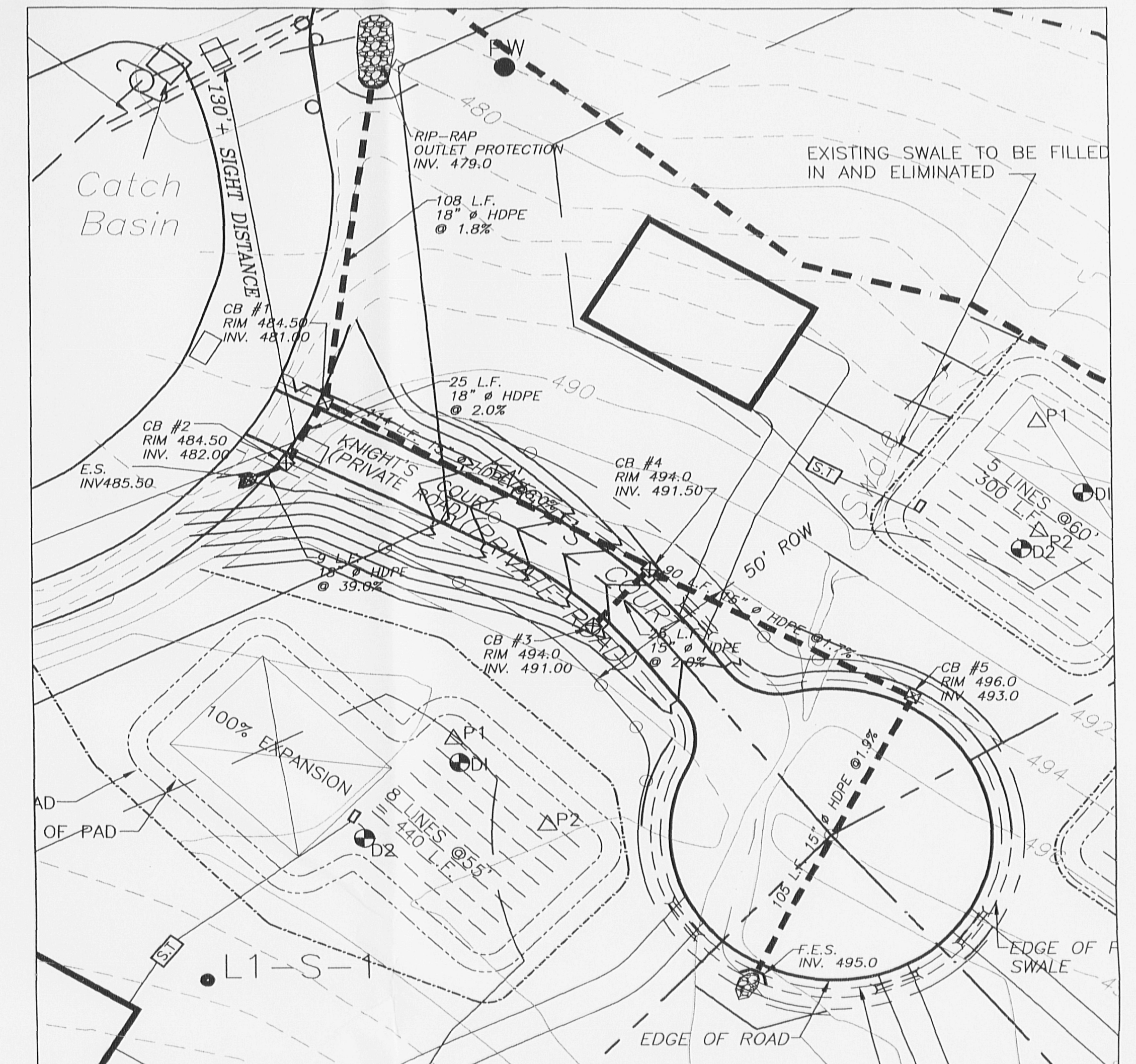
DATE: 5/25/04 DRAWN BY: MMS CHECKED BY:
SCALE: 1"=100' JOB No. 6298 DWG. No. 1 OF 5



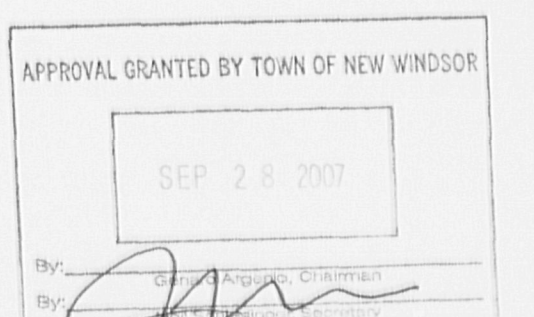
SCALE: 1"=50'

LEGEND

- PROPOSED WELL
- △ PERCOLATION TEST
- ⊙ DEEP TEST

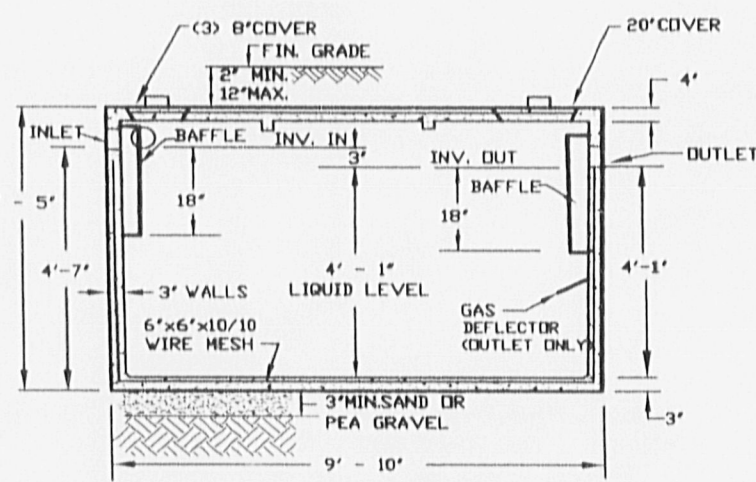
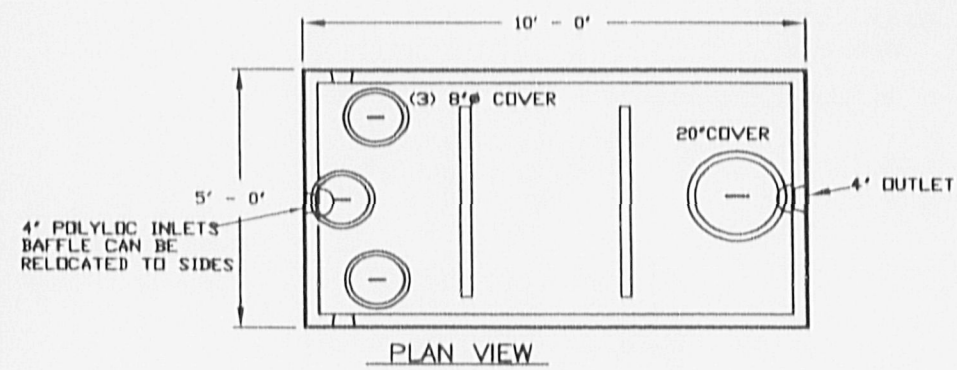


SCALE: 1"=30'



DATE	REVISIONS	ISSUE	DESCRIPTION	CHD. BY
3/2/06	5		PER HIGHWAY SUPER.	
1/10/06	4		PER ENGINEER COMMENTS	
1/3/06	3		PER ENGINEER COMMENTS	
8/9/05	2		PER ENGINEER COMMENTS	
6/1/05	1		PER ENGINEER COMMENTS	

PROPOSED SUBDIVISION FOR SCHOONMAKER HOMES TOWN OF NEW WINDSOR - ORANGE COUNTY - NEW YORK			
AFR Azzolina, Feary & Raimondi Engineering Group <small>PROFESSIONAL ENGINEERS AND LAND SURVEYORS</small> 30 Madison Avenue, Paramus, NJ 07652 - (201) 845-8500 - Fax (201) 845-3825 120 Woodland Avenue, Westwood, NJ 07675 - (201) 865-0534 - Fax (201) 865-5245 110 Stage Road, Monroe, NY 10950 - (845) 782-8881 - Fax (845) 782-4212			
DATE: 5/25/04	DRAWN BY: AAS	CHECKED BY: LI	
SCALE: AS NOTED	JOB No. 6298	DWG. No. 2 OF 5	



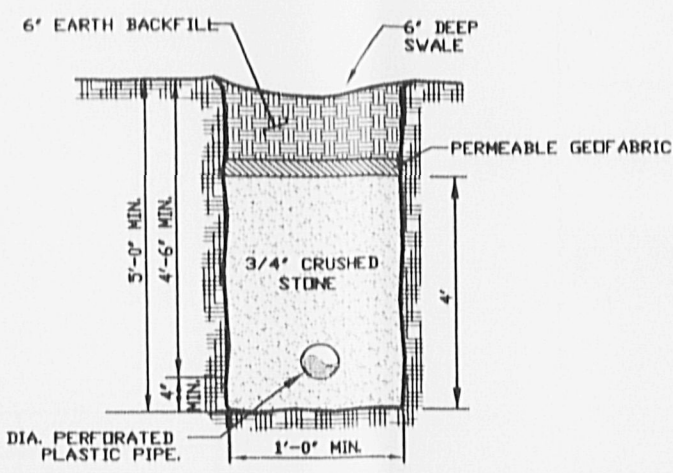
1,250 GALLON

PRECAST SEPTIC TANK

WOODARD'S CONCRETE PRODUCTS, INC. (OR EQUAL)

SPECIFICATIONS

CONCRETE MINIMUM STRENGTH = 4,000 PSI AT 28 DAYS
STEEL REINFORCEMENT = 6"x6"x10 GA. WIRE MESH, #4 REBAR
CONSTRUCTION JOINT = BUTYL RUBBER SEALANT



UNDERDRAIN & SWALE SECTION

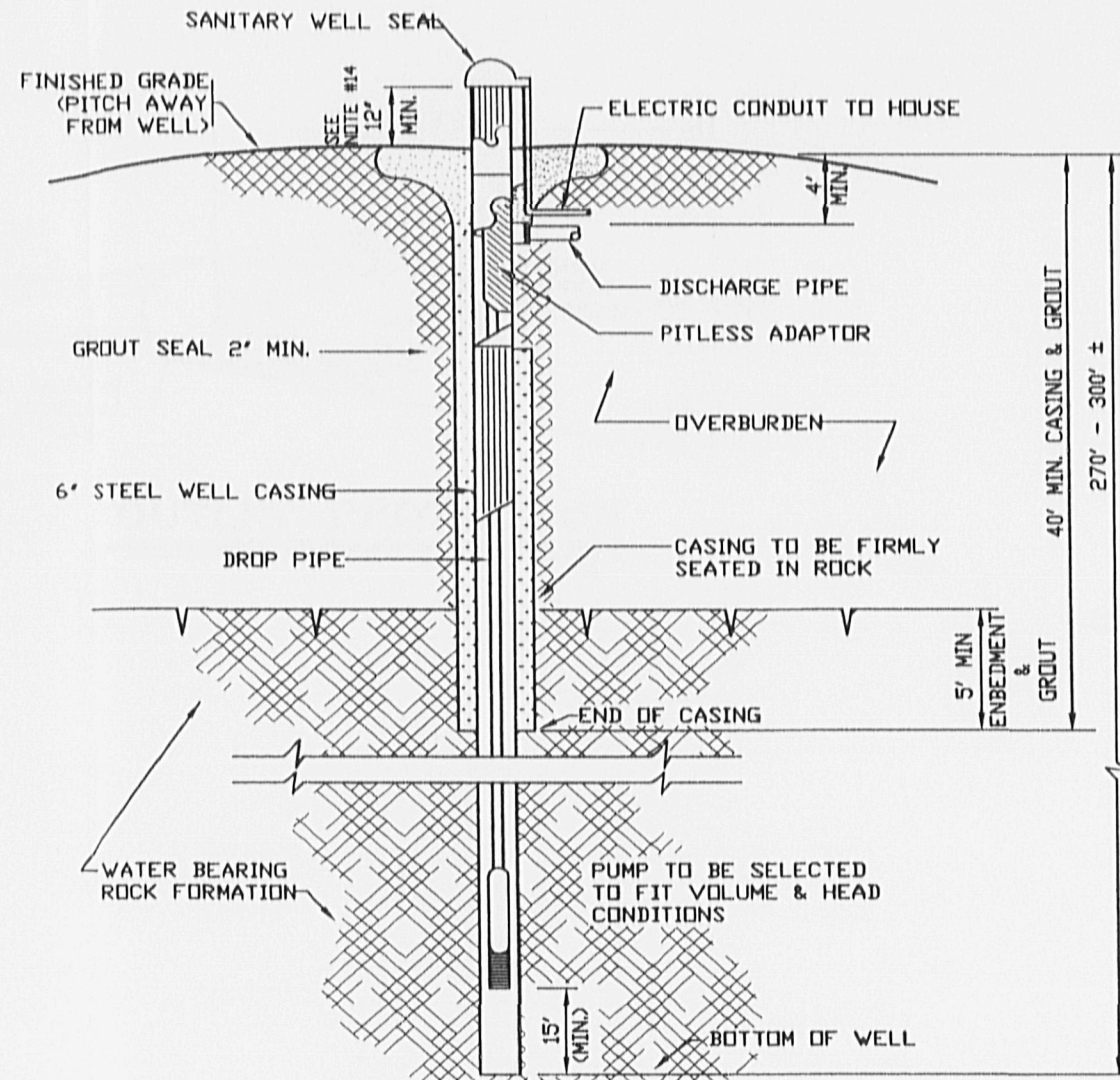
NOTE:

1. WATER LINE TO BE 10 FT. MIN. FROM ABSORPTION TRENCH
2. PERFORATED PIPE TO BE 10 FT. MIN. FROM ABSORPTION TRENCH
3. SOLID PIPE TO BE 10 FT. MIN. FROM ABSORPTION TRENCH
4. REQUIRED FOR ALL 4 LOTS

SEPARATION DISTANCES FROM WASTEWATER SOURCES (MINIMUM ALLOWABLE)				
WASTE WATER SOURCES	WELL OR SUCION	TO STREAM, LAKE OR WATER COURSE	DWELLING	PROPERTY LINE
HOUSE SEWER (WATERTIGHT JOINTS)	50'(c)	25'	--	10'
SEPTIC TANK	50'	50'	10'	10'
EFFLUENT LINE TO DISTRIBUTION BOX	50'	50'	10'	10'
DISTRIBUTION BOX	100'	100'	20'	10'
ABSORPTION FIELD OR BACKWASH SUMPAGE PIT	100'(a)	100'(b)	20'	10'

(a) SEWAGE DISPOSAL SYSTEMS LOCATED BY NECESSITY UPGRADE IN THE GENERAL PATH OF DRAINAGE TO A WELL SHOULD BE SPACED 200 FEET OR MORE AWAY.
(b) 35 FEET TO DRAINAGE DITCH OR PIPED STREAMS.
(c) 25 FEET IF CAST IRON PIPE IS USED.

MATERIAL SPECIFICATIONS	
HOUSE SEWER (4" DIA.)	CAST IRON PIPE, ASTM A74-72 WITH ASTM A74-72 WITH CLASTOMERIC COMPRESSION JOINTS, ASTM-C564 OR POLY VINYL CHLORIDE (PVC) ASTM-2729 WITH SOLVENT CEMENT JOINTS (SLOPE 1/4" PER 1' MIN)
DISTRIBUTION PIPE	4" POLY VINYL CHLORIDE (PVC) ASTM-2729 WITH SOLVENT CEMENT JOINTS
ABSORPTION TRENCH PIPE	4" PERFORATED PVC ASTM-2729
SEPTIC TANK	PRECAST CONCRETE
DISTRIBUTION BOX	PRECAST CONCRETE



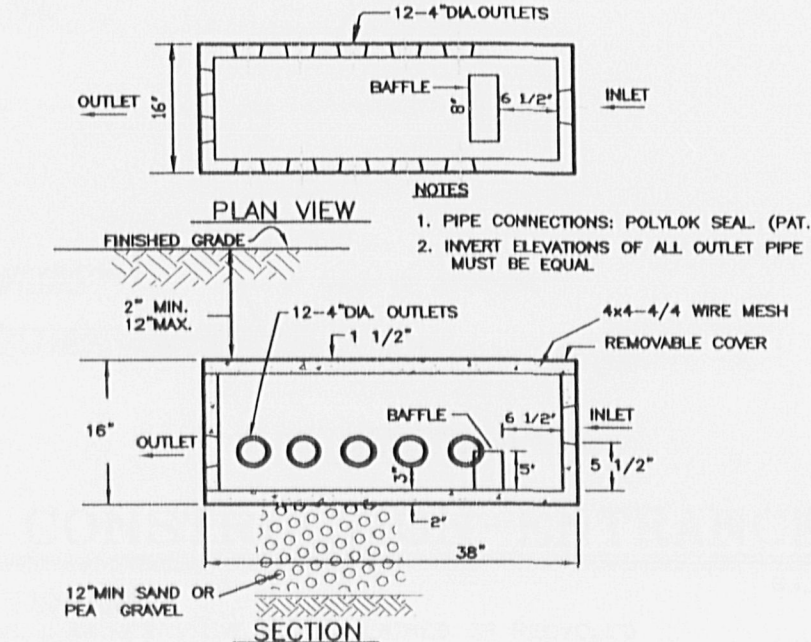
DRILLED WELL N.T.S.

WELL NOTES:

1. WELL IS TO BE Cased AND GROUTED FOR A MIN. OF 40' IN LENGTH.
2. OVERSIZE DRILL HOLE (FOR GROUTING) TO BE 10' IN DIAMETER & A MINIMUM OF 40' IN LENGTH.
3. EXPECTED DEPTH OF OVERBURDEN = 80' - 100'
4. EXPECTED DEPTH OF WATER BEARING FORMATION = 270' - 300'
5. WELL CASING TO CONFORM TO '10 STATE STANDARDS'.
6. PITLESS ADAPTER & SANITARY WELL SEAL SHALL BE MONITOR MODEL NUMBER SPL-6-U-CL, MFG. BY THE BAKER MFG. CO. EVANSVILLE, WISC.
7. DISCHARGE PIPE: 1" MINIMUM OF POLYETHYLENE (PE) PIPE IN ACCORDANCE WITH AWWA C901-02 OR LATEST REVISION.
8. WATER SERVICE LINES UNDER PRESSURE SHALL NOT PASS CLOSER THAN 10' TO A SEPTIC TANK, TILE FIELD OR ANY OTHER PART OF A SEWAGE DISPOSAL SYSTEM.
9. WELL TO SEWER LINE SEPARATION: 50' REQUIRED (60' FOR SOLVENT WELD PVC OR CAST IRON/PVC W/D-RING JOINTS.)
10. MINIMUM WELL CAPACITY TO BE 5 GPM.
11. CEMENT GROUT SHALL BE A MIXTURE OF 1 BAG CEMENT (94 LBS.) & 5 TO 5-1/2 GALLONS OF CLEAN WATER.
12. ELECTRICAL WORK SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE.
13. CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS AS SET FORTH IN THE PUBLICATION "RURAL WATER SUPPLY", N.Y.S. DEPT OF HEALTH, LATEST EDITION.
14. THE TOP OF THE WELL CASING SHOULD BE 12" MINIMUM ABOVE GRADE AND 24" MINIMUM ABOVE THE 100-YEAR FLOOD LEVEL.
15. MINIMUM SEPARATION FROM WELL TO SUBDIVISION BOUNDARY LINE TO BE 50 FEET.
16. MINIMUM SEPARATION FROM WELL TO THE MEAN HIGH WATER MARK OF THE DRAINAGE TO BE 25 FEET.
17. ELECTRICAL CABLE ATTACHED TO THE RISER PIPE SHOULD BE ATTACHED USING NYLON TIES INSTEAD OF ELECTRICAL TAPE (DUE TO POSSIBLE VOC CONTAMINATION).

GENERAL NOTES

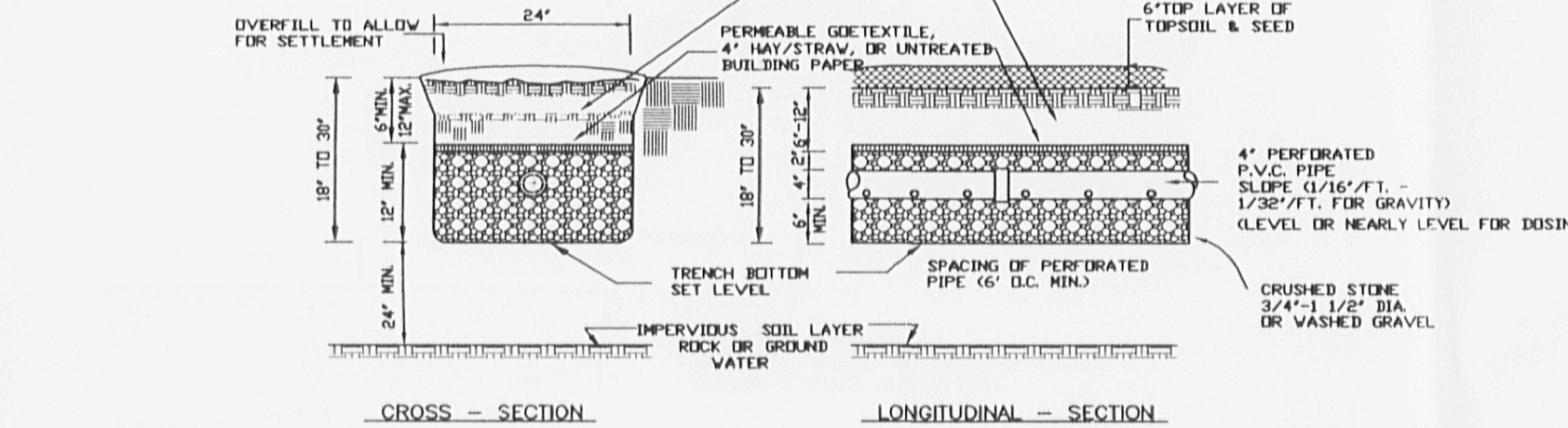
1. SEPTIC TANK TO BE LOCATED A MINIMUM DISTANCE OF 10 FEET FROM THE HOUSE.
2. NO GRADING WILL BE PERMITTED IN AREA OF THE TILE FIELD.
3. IF GARBAGE DISPOSALS ARE USED, INCREASE SEPTIC TANK SIZE BY 50%.
4. CELLAR DRAINS, ROOF DRAINS OR FOOTING DRAINS SHALL NOT BE DISCHARGED IN THE VICINITY OF THE TILE FIELDS OR WELLS.
5. DRIVEWAYS ARE NOT TO BE CONSTRUCTED OVER TILE FIELDS, AND ALL PIPES AND COVERS.
6. ASPHALTIC SEALS SHALL BE MAINTAINED BETWEEN THE SEPTIC TANK, AND ALL PIPES AND COVERS.
7. NO TRENCHES TO BE INSTALLED IN VET SOIL.
8. RAKE SIDES AND BOTTOM OF TRENCH PRIOR TO PLACING GRAVEL IN ABSORPTION TRENCH.
9. GROUT ALL PIPE PENETRATIONS.
10. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS AS SET FORTH IN THE PUBLICATION "WASTE TREATMENT HANDBOOK: INDIVIDUAL HOUSEHOLD SYSTEMS", N.Y.S. DEPARTMENT OF HEALTH.
11. DISTRIBUTION LINES ARE TO BE CAPPED.



DISTRIBUTION BOX, 12 WAY (PRECAST) N.T.S.

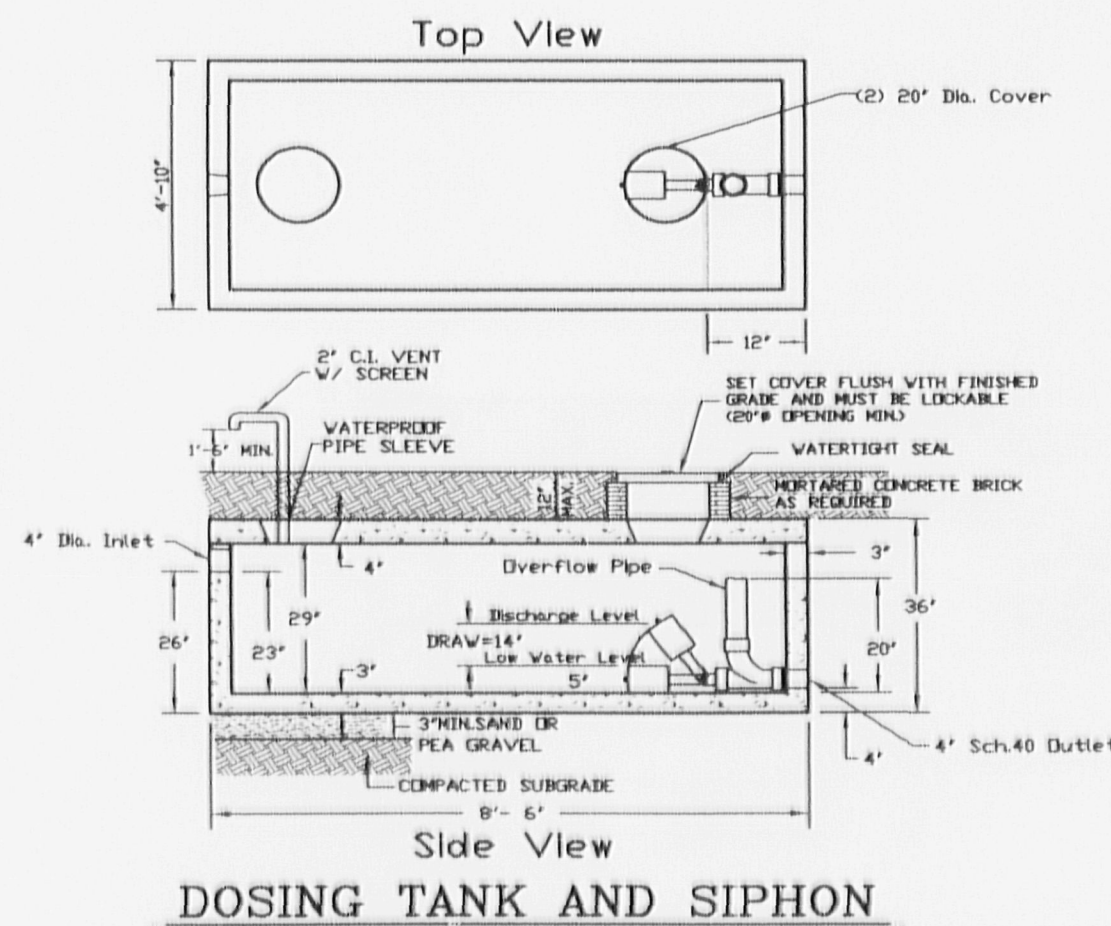
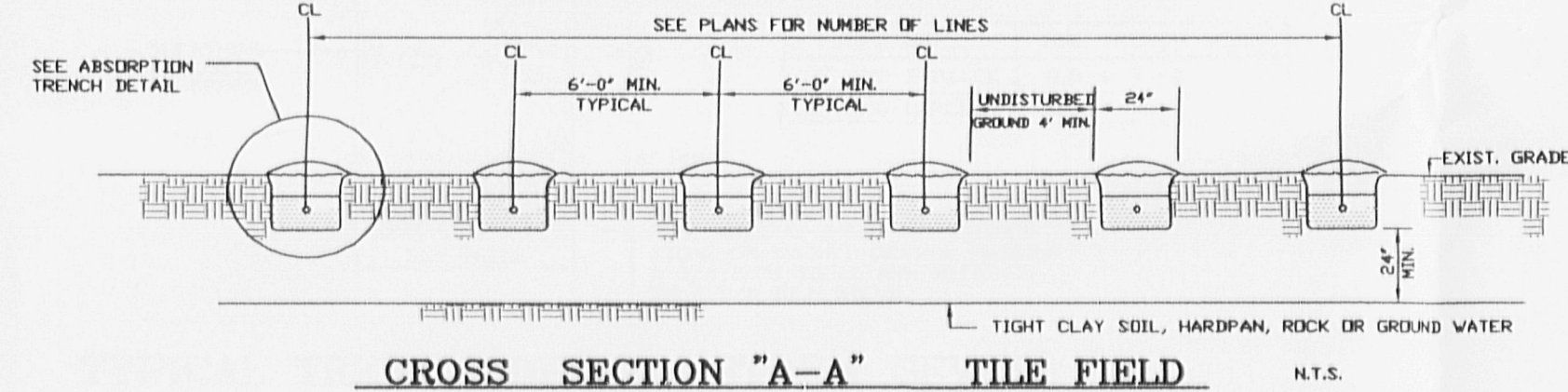
AS MANUFACTURED BY: WOODARD'S CONCRETE PRODUCTS, INC. MODEL DB-12 (OR APPROVED EQUAL)

1. FLOW LEVELS ARE REQUIRED.
2. THE FIRST 10 FT. OF PIPE LEAVING THE DIST. BOX SHOULD BE AT THE SAME SLOPE.



ABSORPTION TRENCH DETAILS N.T.S.

1. LATERALS ARE NOT TO BE INSTALLED IN VET SOIL AND THE SIDES OF THE TRENCHES MUST BE RAKED IMMEDIATELY PRIOR TO PLACING GRAVEL.
2. A MINIMUM OF 4 FT. OF UNDISTURBED SOIL IS REQUIRED BETWEEN ABSORPTION TRENCHES.
3. LATERAL ENDS MUST BE CAPPED.

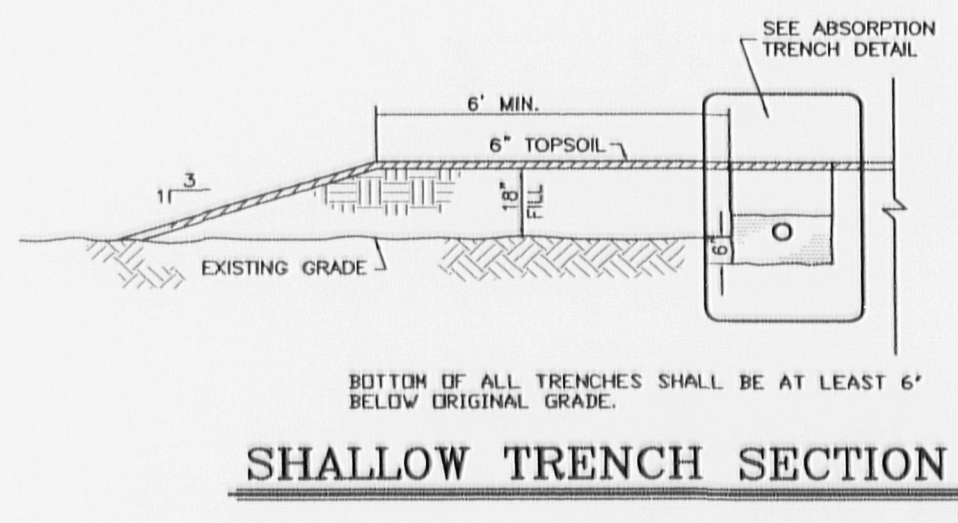


DOSING TANK AND SIPHON

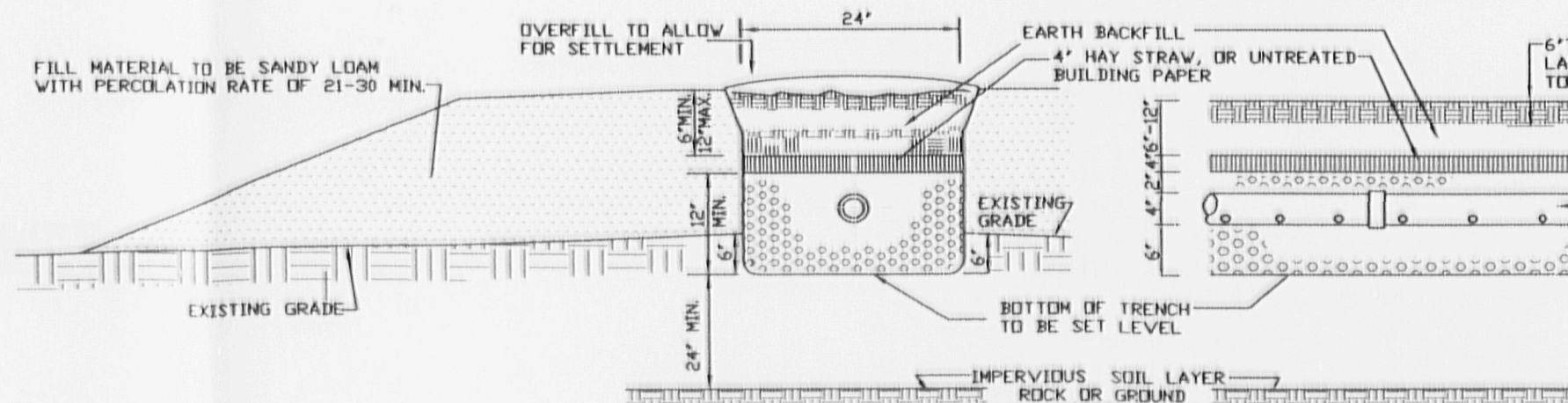
TANK AS MANUFACTURED BY WOODARD'S CONCRETE PRODUCTS, INC. MODEL SC-549 (OR APPROVED EQUAL)

1. SIPHON - RISSY PLASTICS "FLOUT" SIPHONS
2. TANK COVER MUST BE LOCKABLE.
3. HIGH WATER ALARMS ARE RECOMMENDED.
4. SIPHONS MUST BE INSTALLED IN ACCORDANCE TO MANUFACTURERS SPECIFICATIONS.

TO BE USED ON LOT 4	
DRAW	14"
DOSE (GAL.) BOX CAPACITY	313
PIPE SIZE (IN.)	4



SHALLOW TRENCH SECTION



ABSORPTION TRENCH DETAILS N.T.S.

1. LATERALS ARE NOT TO BE INSTALLED IN VET SOIL AND THE SIDES OF THE TRENCHES MUST BE RAKED IMMEDIATELY PRIOR TO PLACING GRAVEL.

PERCOLATION TEST Δ

PERFORMED BY: M.M.S.
DONE: 11-16-04 (LOTS 2, 3 & 4) & 12-14-04 (LOT 1)

LOT	HOLE	RUN	DEPTH	TIME		DROP	LAPSED TIME/INCH
				START	FINISH		
1	1	1	12"	9:57	10:17	1"	20 MIN.
		2	12"	10:17	10:38	1"	21 MIN.
		3	12"	10:38	11:00	1"	22 MIN.
1	2	1	12"	10:45	11:06	1"	21 MIN.
		2	12"	11:07	11:31	1"	24 MIN.
		3	12"	11:31	11:56	1"	25 MIN.
2	1	1	12"	9:30	9:34	1"	4 MIN.
		2	12"	9:34	9:40	1"	6 MIN.
		3	12"	9:40	9:47	1"	7 MIN.
2	2	1	12"	9:36	9:39	1"	3 MIN.
		2	12"	9:39	9:45	1"	6 MIN.
		3	12"	9:47	9:55	1"	8 MIN.
3	1	1	12"	10:35	10:43	1"	8 MIN.
		2	12"	10:43	10:56	1"	13 MIN.
		3	12"	10:56	11:09	1"	13 MIN.
3	2	1	12"	10:37	10:39	1"	2 MIN.
		2	12"	10:42	10:46	1"	4 MIN.
		3	12"	10:46	10:50	1"	4 MIN.
4	1	1	24"	10:26	11:10	1"	44 MIN.
		2	24"	11:11	12:09	1"	58 MIN.
		3	24"	12:09	1:06	1"	58 MIN.
4	2	1	24"	10:28	11:21	1"	57 MIN.
		2	24"	11:22	12:20	1"	58 MIN.
		3	24"	12:20	1:18	1"	58 MIN.

SOIL LOG

TESTS PERFORMED BY: LT, MMS

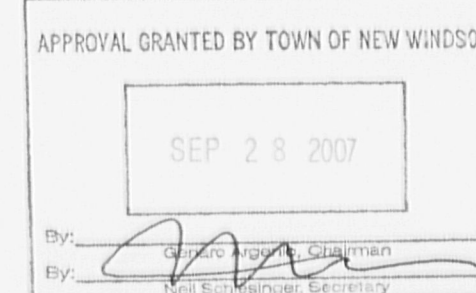
LOT #	HOLE #	DATE OF TEST	DEPTH		SOIL DESCRIPTION
			FROM	TO	
1	1	11/16/04	0"	6"	TOPSOIL
			6"	2'6"	SILT, POCKETS OF CLAY AND MOTTLING, SMALL STONES
			2'6"	8'0"	NO WATER NO BEDROCK
1	2	11/16/04	0"	6"	TOPSOIL
			6"	3'0"	SILT, POCKETS OF CLAY AND MOTTLING, SMALL STONES
			3'0"	4'6"	SILT/HARDPAN NO WATER NO BEDROCK
2	1	11/16/04	0"	3"	TOPSOIL
			3"	6"	TIGHT HARDPAN NO WATER NO BEDROCK
2	2	11/16/04	0"	6"	TOPSOIL
			6"	2'0"	SILT, POCKETS OF CLAY AND MOTTLING, SMALL STONES
			2'0"	4'0"	HARDPAN NO WATER NO BEDROCK
3	1	11/16/04	0"	12"	TOPSOIL
			12"	6'	TIGHT HARDPAN NO WATER NO BEDROCK
3	2	11/16/04	0"	6"	TOPSOIL
			6"	2'6"	SILT, POCKETS OF CLAY AND MOTTLING, SMALL STONES
			2'6"	4'0"	HARDPAN NO WATER NO BEDROCK
4	1	11/16/04	0"	6"	TOPSOIL
			6"	4'6"	TIGHT HARDPAN(WITH ROCKS) NO WATER NO BEDROCK
4	2	11/16/04	0"	6"	TOPSOIL
			6"	7'0"	SILT, DAMP W/ SMALL STONES
					POCKETS OF CLAY WATER SEEPAGE 05- SOME MOTTLING NO WATER NO BEDROCK

SEPTIC DESIGN

A) HYDRAULIC LOADING = 130 GPD/B.R.

1. 3 B.R. = 130 x 3 = 390 GPD
2. 4 B.R. = 130 x 4 = 520 GPD

LOT #	HOLE #	STABILIZED PERCOLATION RATE MIN./IN. (DEPTH) Δ	TEST PERFORMED	DESIGN RATE	# BR	TRENCH REQUIRED (LIN. FT.)	TRENCH PROVIDED (LIN. FT.)	SEPTIC TANK (GAL.)	FILL
1	1	22 MIN. (24")	12/14/04	21-30	3	325	6 @ 55' = 330'	1000	2'
	2	25 MIN. (24")	12/14/04		4	433	8 @ 55' = 440'	1250	
	3	7 MIN. (24")	11/16/04	8-10	3	217	4 @ 55' = 220'	1000	2'
	4	8 MIN. (24")	11/16/04		4	290	5 @ 60' = 300'	1250	
3	1	13 MIN. (24")	11/16/04	11-15	3	244	6 @ 42' = 252'	1000	2'
	2	4 MIN. (24")	11/16/04		4	325	6 @ 55' = 330'	1250	
	3	58 MIN. (24")	11/16/04	46-60	3	433	10 @ 50' = 500'	1000	NONE
	4	58 MIN. (24")	11/16/04		4	578	10 @ 60' = 600'	1250	



3/2/06 5
1/10/06 4
1/3/06 3
8/9/05 2
6/1/05 1

PER HIGHWAY SUPER.
PER ENGINEER COMMENTS
PER ENGINEER COMMENTS
PER ENGINEER COMMENTS
PER ENGINEER COMMENTS

DATE: DEC. 10, 2004
SCALE: AS NOTED

ISSUE DESCRIPTION CHD. BY

DETAILS, SOILS & SEPTIC DESIGN
FOR
SCHOONMAKER HOMES
TOWN OF NEW WINDSOR - ORANGE COUNTY - NEW YORK

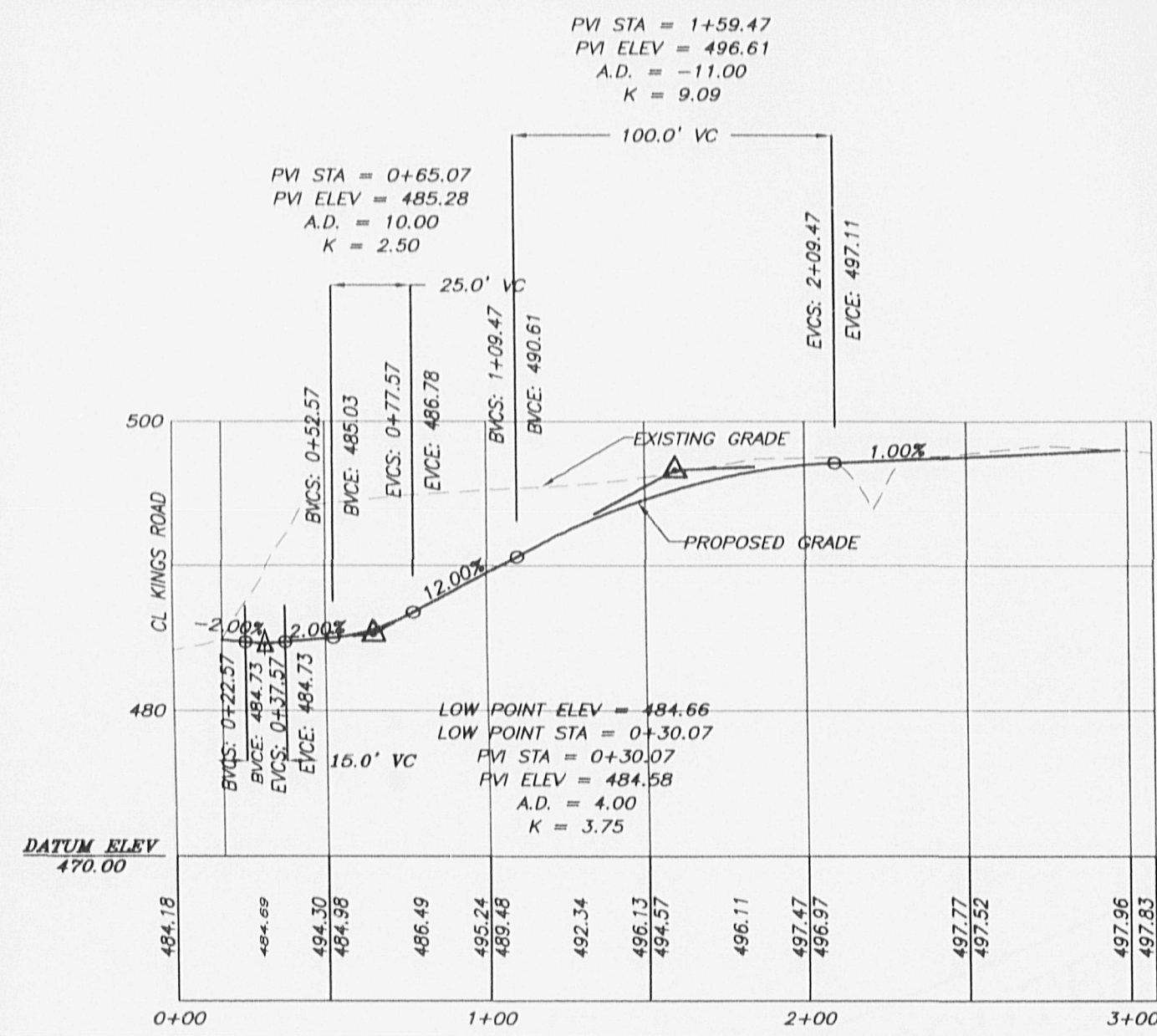
AFR Azzollina, Feary & Raimondi Engineering Group
PROFESSIONAL ENGINEERS AND LAND SURVEYORS

30 Madison Avenue, Port Jervis, NY 13821 - (201) 845-8500 - Fax (201) 845-3828
120 Woodland Avenue, Westwood, NJ 07675 - (201) 666-0534 - Fax (201) 666-5248
110 Stage Road, Monroe, NY 10659 - (845) 782-8881 - Fax (845) 782-4212

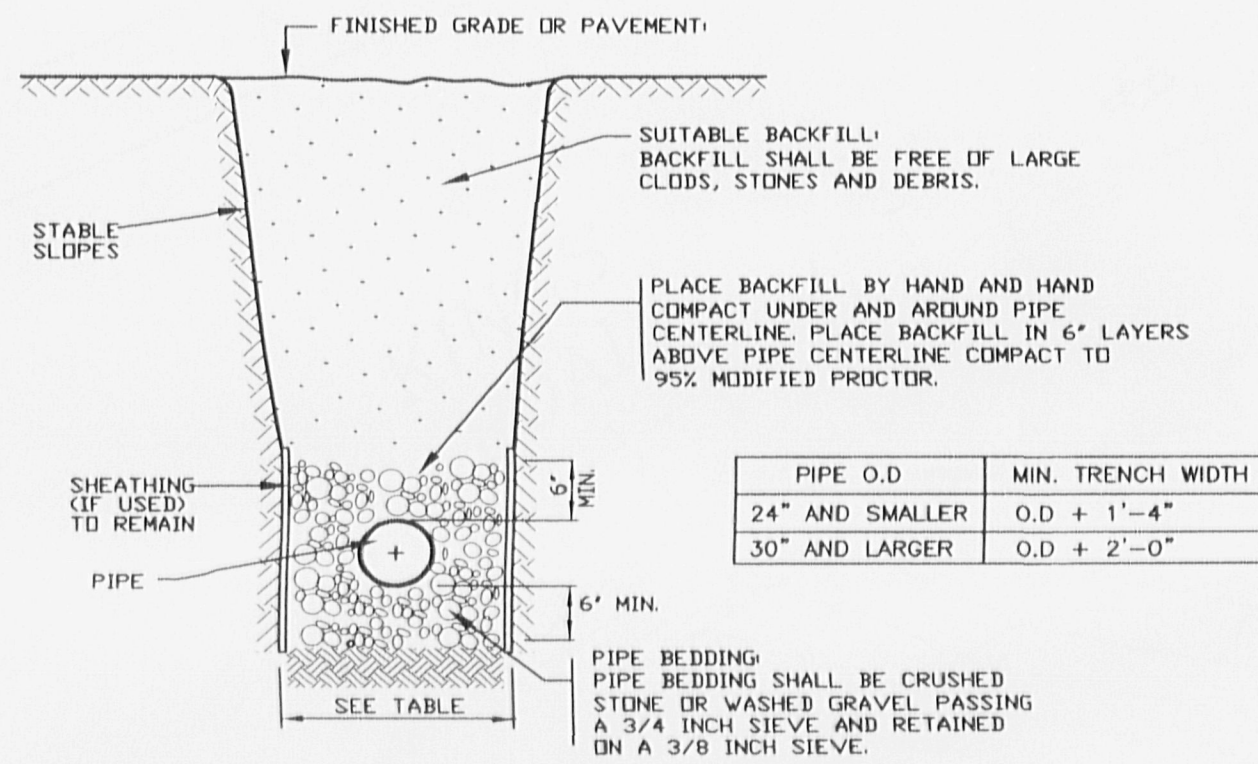
Lawrence E. Torro, P.E.
N.Y. Lic. No. 66987

DRAWN BY: JMS
JOB No. 6258

CHECKED BY:
DWG. No. 3 OF 5

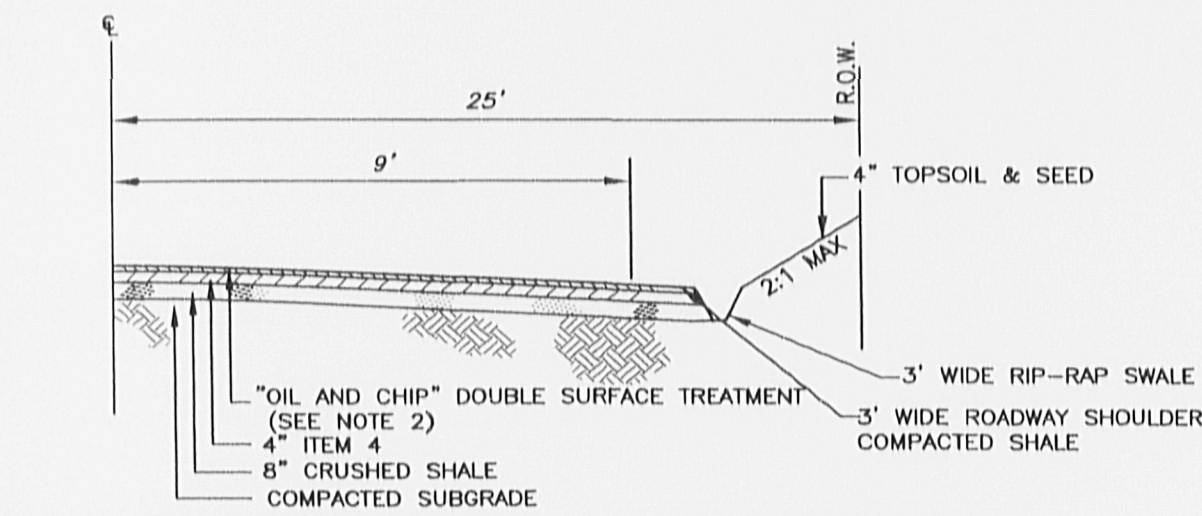


PROPOSED ROAD PROFILE
SCALE
HORIZ: 1"=50'
VERT: 1"=10'



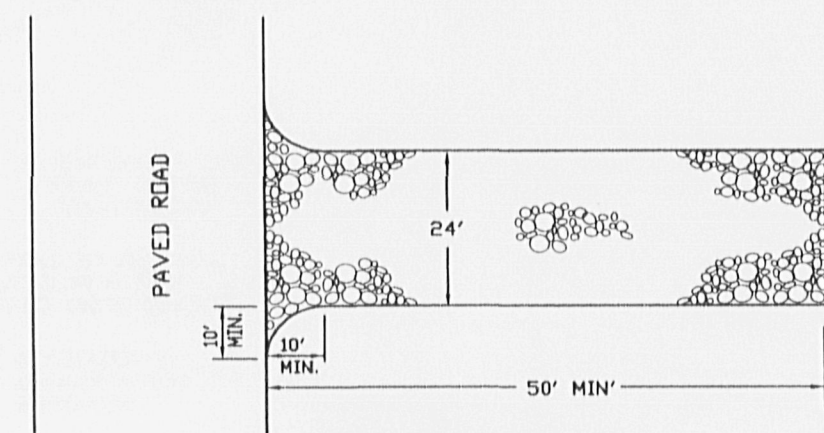
TYPICAL TRENCH DETAIL (STORM SEWER)

N.T.S.



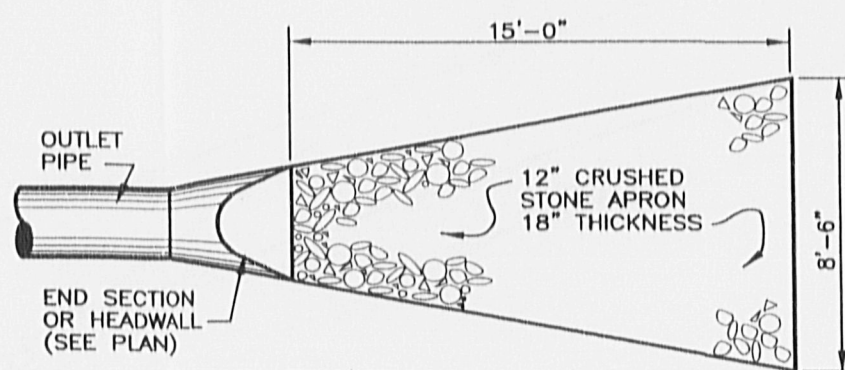
TYPICAL ROADWAY HALF SECTION N.T.S.

- NOTE:
1. STABILIZATION FABRIC AND ADDITIONAL SUBBASE IS REQUIRED, SHOULD THE SUBGRADE CONDITION BE UNSTABLE IN THE OPINION OF THE TOWN SUPERINTENDENT OF HIGHWAYS AND TOWN ENGINEER OR DESIGN ENGINEER.
 2. SURFACE COURSE OIL APPLICATION TO BE 0.5 GAL. PER SQ. YARD AND STONE TO BE 3/8" PER APPLICATION, TWO APPLICATIONS REQUIRED

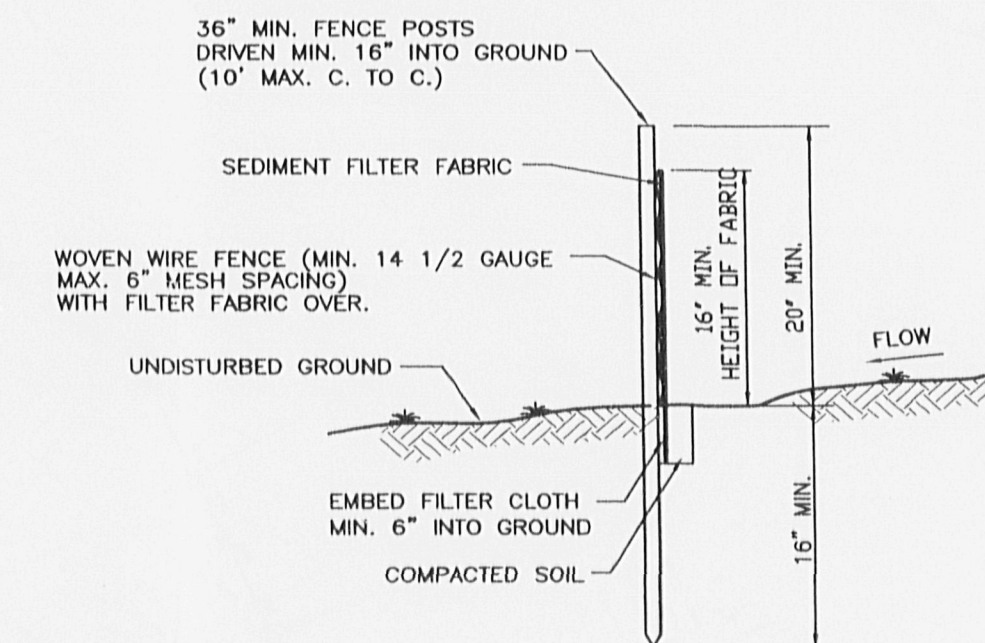


STABILIZED CONSTRUCTION ENTRANCE N.T.S.

- CONSTRUCTION SPECIFICATIONS
1. STONE SIZE - USE 2 INCHES STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
 3. THICKNESS - NOT LESS THAN 6 INCHES.
 4. WIDTH - 12 FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY FOUR FEET IF SINGLE ENTRANCE TO SITE.
 5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

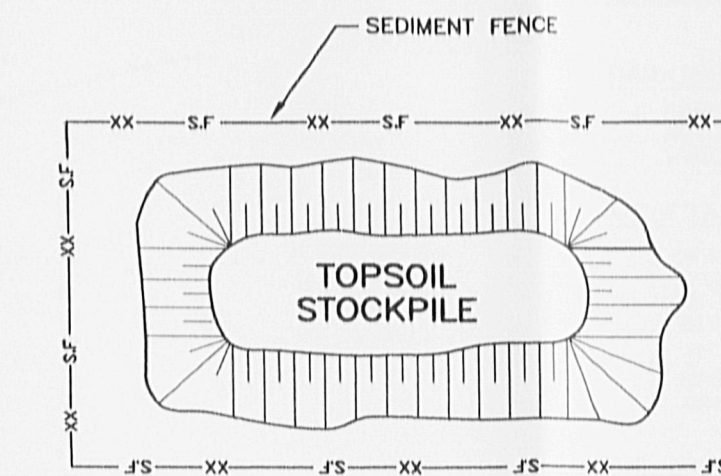


OUTLET PROTECTION N.T.S.

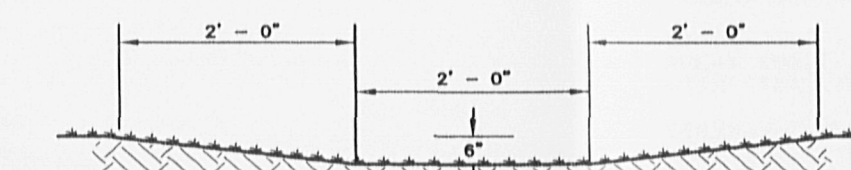


SECTION SILT FENCE N.T.S.

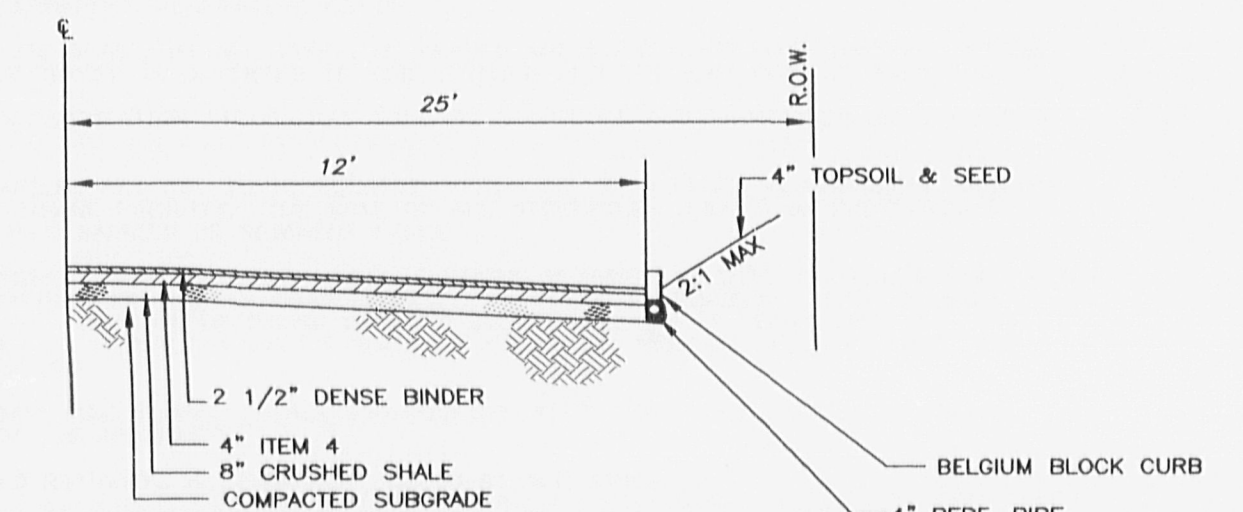
- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN BULGES DEVELOP IN THE SILT FENCE.
 5. POST TO BE STEEL EITHER 1" OR 1 1/2" TYPE OR 2" HARDWOOD.
 6. FILTER CLOTH TO BE MIRAFI 100X STABILINKA T140N OR APPROVED EQUAL.
 7. PREFABRICATED UNIT - GEOTAB, ENVIROFENCE OR APPROVED EQUAL.



TOPSOIL STOCKPILE SEDIMENT BARRIER N.T.S.

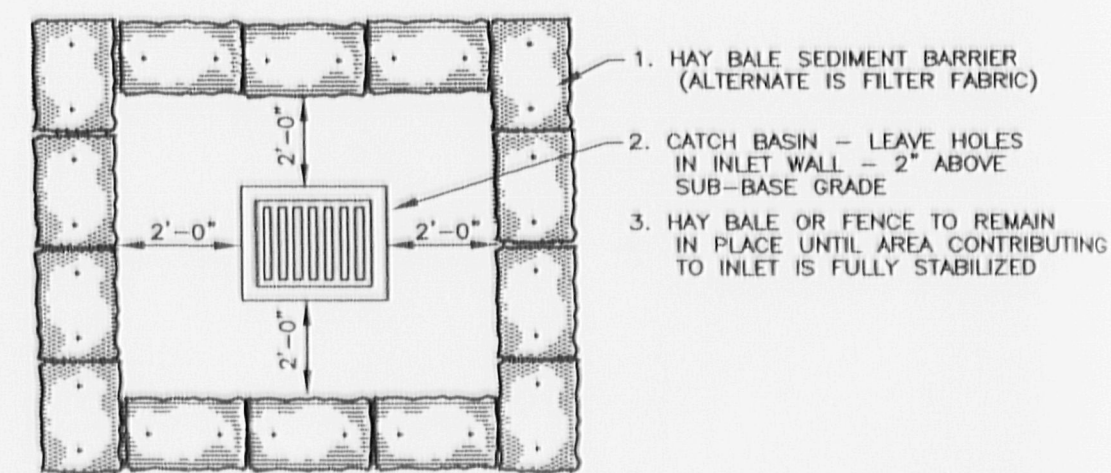


GRASS SWALE DETAIL N.T.S.



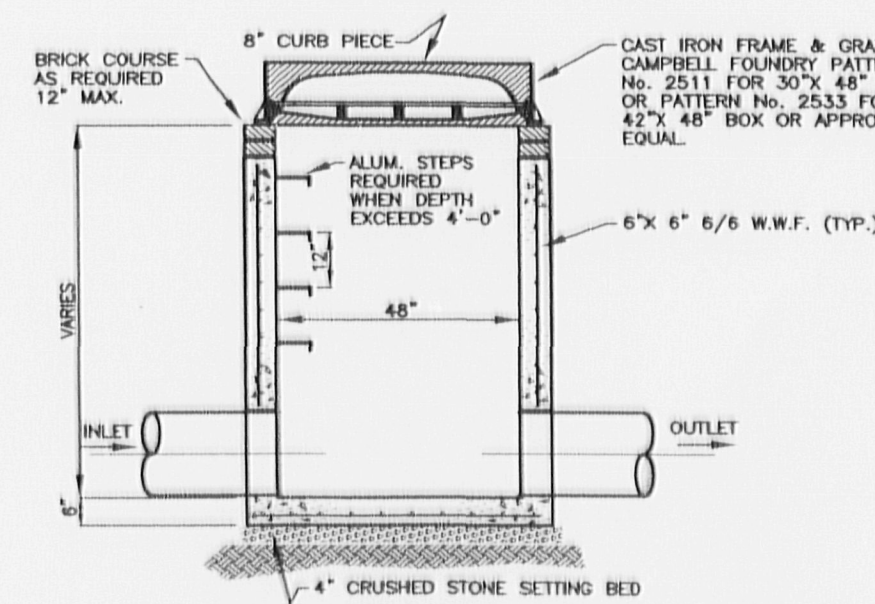
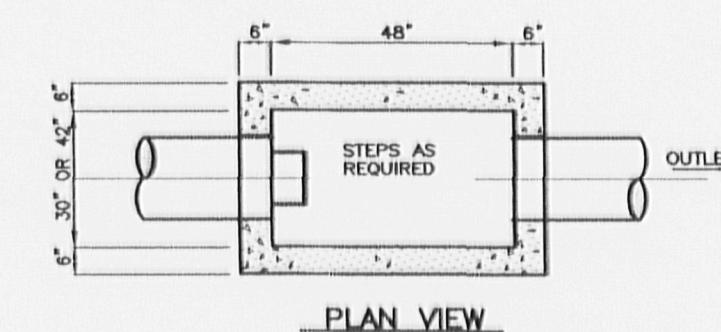
ALTERNATE ROADWAY HALF SECTION N.T.S.

- NOTE:
1. STABILIZATION FABRIC AND ADDITIONAL SUBBASE IS REQUIRED, SHOULD THE SUBGRADE CONDITION BE UNSTABLE IN THE OPINION OF THE TOWN SUPERINTENDENT OF HIGHWAYS AND TOWN ENGINEER OR DESIGN ENGINEER.



INLET PROTECTION SEDIMENT BARRIER

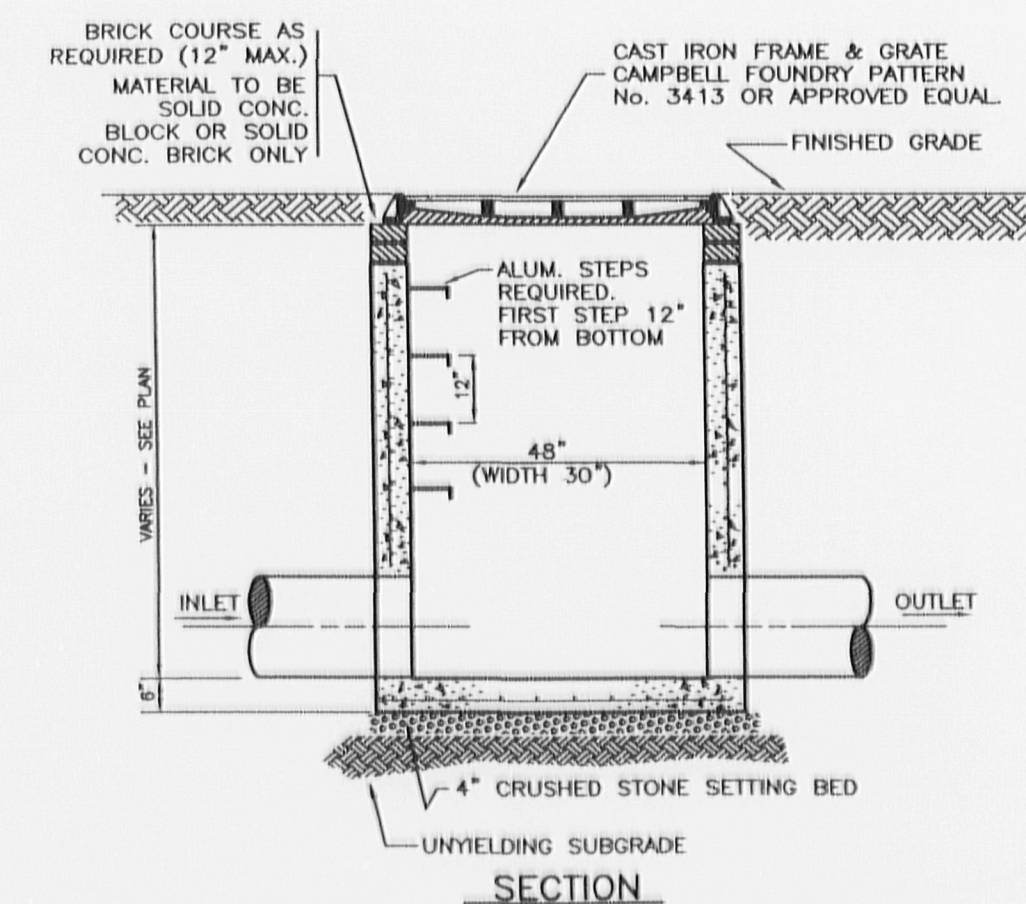
N.T.S.



- NOTES:
1. SUITABLE FOR H-20 LOADING
 2. MATERIALS & CONSTRUCTION TO CONFORM TO LOCAL BUILDING DEPARTMENT.
 3. ALL CONCRETE TO BE 4000 P.S.I.
 4. FLAT GRATE CATCH BASIN FRAME & GRATE, CAMPBELL FOUNDRY PATTERN No. 3413 OR EQUAL AS APPROVED BY LOCAL BUILDING DEPARTMENT.

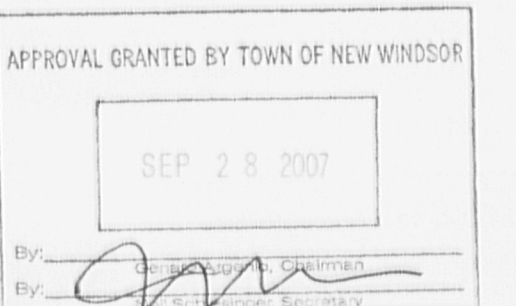
PRECAST CONCRETE CATCH BASIN N.T.S.

*TO BE USED WITH ALTERNATE ROAD DESIGN, WITH CURB



PRECAST CONCRETE AREA INLET N.T.S.

- NOTES:
1. SUITABLE FOR H-20 LOADING
 2. MATERIALS & CONSTRUCTION TO CONFORM TO LOCAL BUILDING DEPARTMENT.
 3. ALL CONCRETE TO BE 4000 P.S.I.



DATE	REVISIONS	ISSUE	DESCRIPTION	CHD. BY
3/2/06	4		PER HIGHWAY SUPER	
1/10/06	3		PER ENGINEER COMMENTS	
1/3/06	2		PER ENGINEER COMMENTS	
8/9/05	1		PER ENGINEER COMMENTS	

PROFILE & DETAILS
FOR
SCHOONMAKER HOMES
TOWN OF NEW WINDSOR - ORANGE COUNTY - NEW YORK

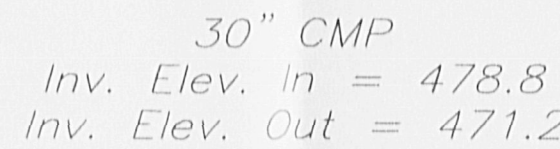
AFR Azzolina, Feary & Raimondi Engineering Group
PROFESSIONAL ENGINEERS AND LAND SURVEYORS
30 Madison Avenue, Paramus, NJ 07652 - (201) 845-8500 - Fax (201) 845-3825
120 Woodland Avenue, Westwood, NJ 07675 - (201) 666-0534 - Fax (201) 666-5248
110 Stage Road, Wayne, NJ 07469 - (973) 261-1100 - Fax (973) 261-1101

Lawrence E. Torma, P.E.
N.Y. Lic. No. 65981

DATE: 3/18/05
SCALE: 1"=50'

DRAWN BY: JMB
JOB No. 6298

CHECKED BY: LT
DWG. No. 4 OF 5



DATE: 1-30 JOB NO. 0270